

WOODBIDGE ILLUSTRATIVE URBAN DESIGN GUIDE

WOODBIDGE HERITAGE DISTRICT URBAN DESIGN AND STREETScape STUDY
VOLUME I



APRIL 2017



DIALOG

IN ASSOCIATION WITH:

Philip Goldsmith | Architect
ASI Archaeological & Cultural Heritage Services
Vermeulens Cost Consultants

Prepared for:

The City of



Prepared by:

DIALOG®

IN ASSOCIATION WITH:

Philip Goldsmith | Architect

ASI Archaeological & Cultural Heritage Services

Vermeulens Cost Consultants

Images References:

All images within this document are the ownership of either DIALOG, Phil Goldsmith Architects, or are acquired through Wikimedia Commons, the free media repository. Those acquired through Wikimedia Commons are labelled accordingly.



TABLE OF CONTENTS

ACKNOWLEDGEMENTS	IV
PURPOSE OF THIS DOCUMENT	V
HOW TO USE THIS DOCUMENT	VII

PART A: BACKGROUND	1
1.0 UNDERSTANDING THE POLICY FRAMEWORK	2
Current Policy Documents	4
2.0 RESPONDING TO WHAT WE HEARD	6
What We Heard	7
3.0 ALIGNING WITH THE VISION & PRINCIPLES	8
The Vision	9
The Principles	10
4.0 FOUR CHARACTER AREAS: THE DISTINCT PLACES WITHIN	12
Understanding The Character Areas	12
Central Woodbridge	14
Kipling Avenue Corridor	18
Islington Avenue Corridor	22
Residential Neighbourhoods	26

PART B: THE ILLUSTRATIVE URBAN DESIGN GUIDELINES	31
INTRODUCTION	32
BUILT FORM GUIDELINES	34
1.0 ENABLING CONTEMPORARY DESIGN	34
1A. New Building Adjacent to a Heritage Building	36
1B. Additions to a Heritage Building	39
1C. Quality Building Design & Materials	41

2.0 DEVELOPMENT SCALE & TRANSITION	46
Steps to Understanding How to Transition to Heritage Resources	48
2A. Transition to Contributing Heritage Resources	50
2B. Transition Between Varying Densities	52
3.0 BLOCK & PARCEL DESIGN	54
3A. Permeable & Connected Block Design	56
3B. Increasing Density on a Site while Maintaining the Character of Place	58
OPEN SPACE GUIDELINES	62
4.0 STREETScape INTERFACE	62
4A. Elevated Commercial Interface Resulting from Rolling Typology (Woodbridge Avenue)	64
4B. Elevated Commercial Interface in the SPA Flood Zones (Woodbridge Avenue)	67
4C. 3m Maximum Building Setback Along Woodbridge Avenue	71
4D. Servicing & Vehicular Access (Woodbridge Avenue)	72
5.0 PRIVATE OPEN SPACES	74
5A. Private Cultural Heritage Open Spaces	78
5B. Alterations to Private Open Spaces	81
5C. New Private Open Spaces	83
6.0 CONNECTING THE PUBLIC REALM	93
6A. Trail Connections	94
6B. Signage & Wayfinding	94
6C. Woodbridge Avenue Mid-Block Connections	96
6D. Significant Heritage Views & View Corridors	97



ACKNOWLEDGEMENTS

The **Woodbridge Illustrative Urban Design Guide, Volume I, and the Woodbridge Avenue Detailed Streetscape Master Plan, Volume II** are the result of a collaborative effort with the City of Vaughan, and many stakeholders including ward councillors, land owners, developers, the Ratepayers Association, and the many dedicated members of the Woodbridge Community, old and new, who are passionate about the conservation of the heritage district.

This initiative is timely, as it responds to a period of urban growth and development that can effect the character and integrity of the heritage district and the things that people value most about the place. The **Woodbridge Illustrative Urban Design Guide** is structured to be a highly illustrative and accessible tool for all, and should be referenced by anyone who requires further information and clarity on key policies and guidelines that govern the Woodbridge Heritage Area.

Through this initiative, we have many to thank. This process has been an inspiration, as it reflects a renewed effort of collaboration and dialogue between the various City departments, external services and agencies, and the community, which has resulted in an informative and comprehensive contribution toward the development of the Guidelines and Streetscape Plan.

We thank the many residents who have joined us “on the street”, and have provided spontaneous input and encouragement throughout the engagement process.

Our hope is that the guidelines provide another means of understanding the policies and processes that are administered for the purpose of implementing a Vision, derived from community efforts, past and present, towards creating a unique and great place to live.



PURPOSE OF THIS DOCUMENT

The Urban Design Guidelines are intended to function as a visual guide to supplement existing policies and guidelines currently in place for the Woodbridge Area. This document should be read in conjunction with all other relevant policy documents. It is meant to assist users in navigating the framework of policies and guidelines that apply to the Woodbridge Area, and more importantly, to provide a greater level of clarity in policy areas as identified through the engagement process.

THE STUDY AREA

The guideline recommendations of this document apply to the study area below.



The Study Area

PURPOSE OF THE STUDY

- To provide an urban design document that brings together Secondary Plan and HCD documents
- To identify gaps where further design guidance is needed in existing policies

UNDERSTANDING THE ISSUES: THROUGH A COLLABORATIVE PROCESS

Through an extensive engagement process with City staff, Council, landowners and developers, and the Woodbridge community, a series of key issues were identified in the policy structure and frameworks for the study area, as well as gaps that need to be addressed in the implementation process. These gaps relate to areas that were identified in the current policy structure, that need further clarity in terms of implementing and realizing the Vision for Woodbridge.

KEY ISSUES

- Enabling contemporary design in a heritage district
- Development scale and transition as it relates to heritage properties and to varying densities
- Achieving good block development to create a very permeable, connected, and accessible environment
- Intensifying a site while maintaining what is valued to the district
- Addressing the at-grade interface of commercial properties along Woodbridge affected by topography or being in the Special Policy Area (SPA) Flood Zone
- Maximum building setback requirements along Woodbridge Avenue as well as servicing and vehicular access
- The role of, and opportunities for private open spaces
- Managing cultural heritage assets on private lands
- How to achieve wayfinding and connecting the public realm

THE WOODBRIDGE ILLUSTRATIVE URBAN DESIGN GUIDE

The resultant Woodbridge Illustrative Urban Design Guide is intended to:

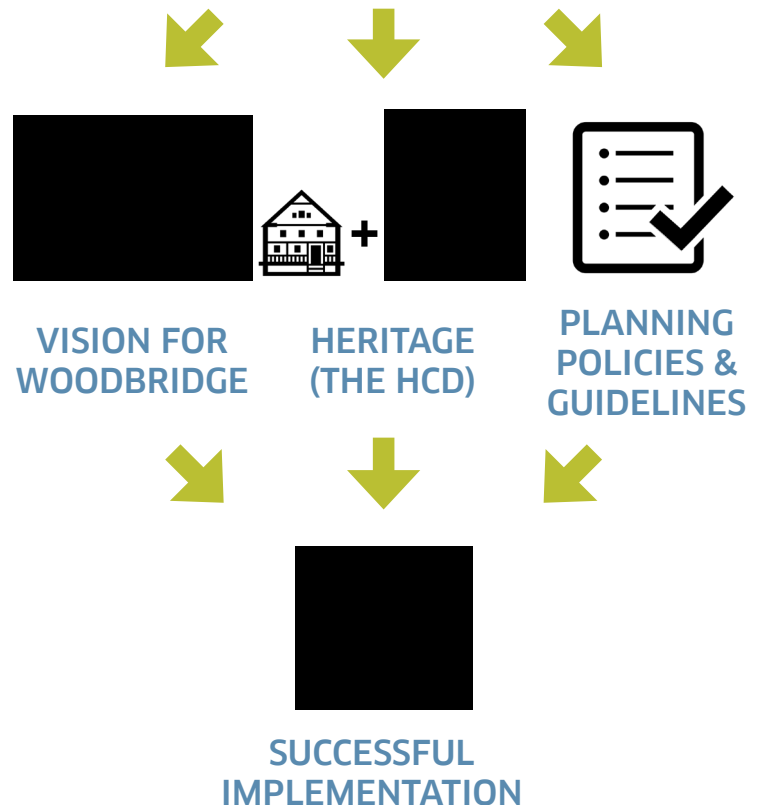
1. Address challenges in understanding, interpreting, and implementing the current policies especially as they relate to the gap areas/key issues.
2. Provide an overall picture for and an understanding of the Woodbridge Area and Urban Design Vision by bridging the gap between the cultural heritage document, the HCD Plan, and the Policy Planning documents, the Secondary Plans and supportive guidelines.
3. Provide clarity on the relevance and authority of each of the current policy documents as they pertain to the Woodbridge Area.
4. Complement the existing policy frameworks with additional explanation and illustration that will provide members of the public, the development community, and City of Vaughan staff with a higher level of clarity and understanding as to how to interpret the policies and importantly, how to develop Woodbridge in accordance with the existing policies.

VISUAL GUIDE

INTERPRET

CLARIFY

ENLIGHTEN





HOW TO USE THIS DOCUMENT

CITY STAFF
DEVELOPERS
LAND OWNERS
COUNCILLORS
COMMUNITY

STEP 1:
RELEVANT POLICY
DOCUMENTS

STEP 2:
URBAN DESIGN VISION
AND PRINCIPLES

STEP 3:
CHARACTER AREAS

1

The document follows a two-part structure which is intended to be easy to read and follow, and to find information that will assist landowners and developers in the design of their projects; assist City staff, developers and the community in understanding the policy process, structure, and interpretation of the guidelines; and assist City staff in the development applications review process and policy implementation.

PART 1: BACKGROUND

Part 1 of the document contains background information on the City's Urban Design Vision for Woodbridge. Specifically, Part 1:

- Defines an overall comprehensive urban design vision and principles for the future of the study area, and an overview of what is important to Woodbridge as a heritage district.
- Provides clarity on the policies and the governance structure of the policies that guide urban development for the Woodbridge area.
- Defines what is important to each of the distinct character areas within Woodbridge that together, define its identity.



STEP 4: THE GUIDELINES

PART 2: ILLUSTRATIVE URBAN DESIGN GUIDELINES

Part 2 of the document provides illustrative guidelines and additional guideline recommendations to supplement specific parts of current policies that have been identified as needing clarity. These guidelines are not meant to be read on their own or to supersede current policy documents unless there is a recommendation for a change in policy. Therefore, **these guidelines must be read in conjunction with the policies that they are supplementing.** Specifically, Part 2:

- Provides a list of each guideline categorized in the specific development frameworks of built form and open space.
- Provides a description and further elaboration of each specific policy condition and purpose.
- Indicates the document(s) in which the specific policy resides, with the specific policy numbers so that they can be easily found.
- Provides new illustrative guidelines to support the existing policy.

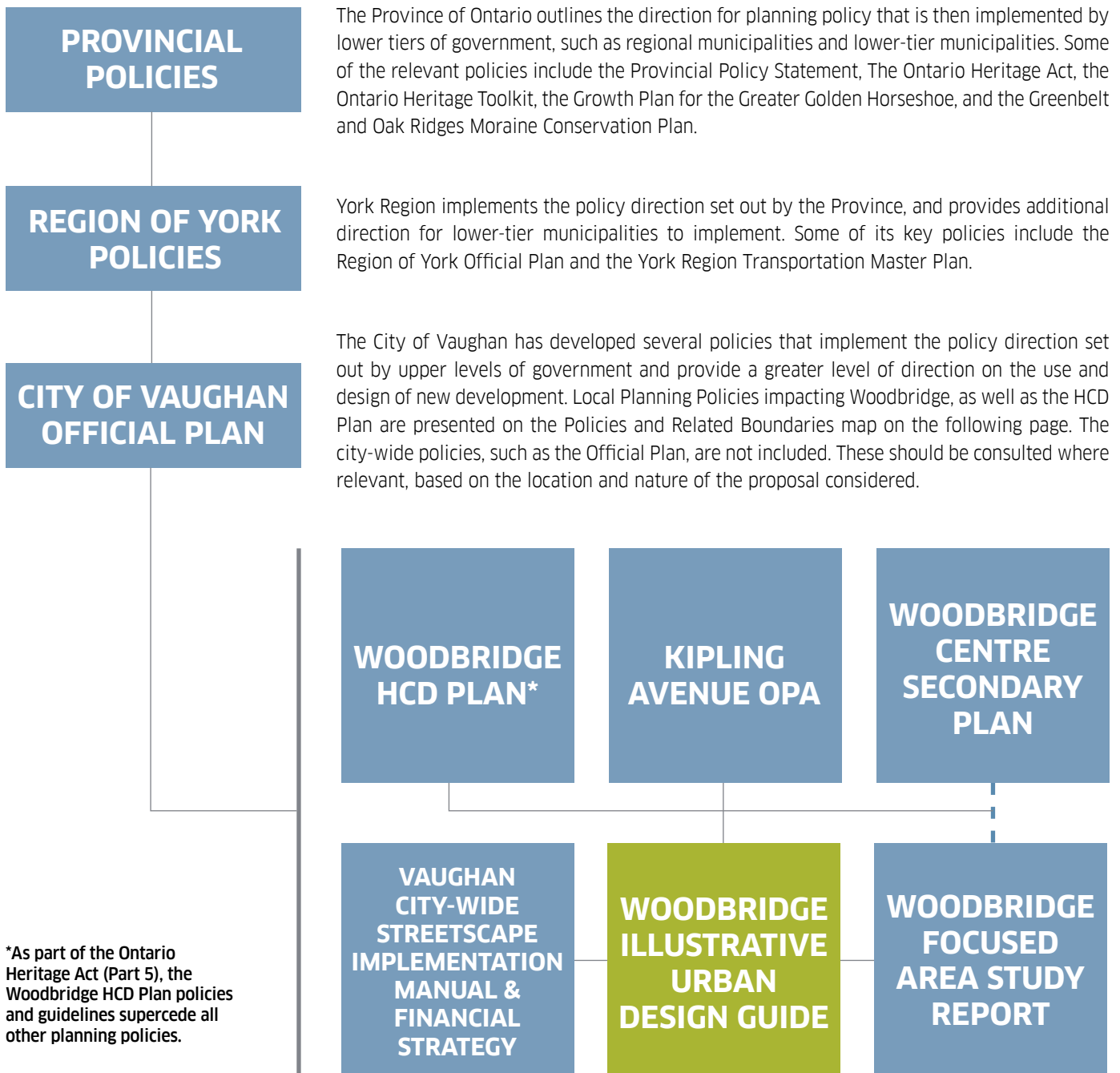


PART A:
BACKGROUND

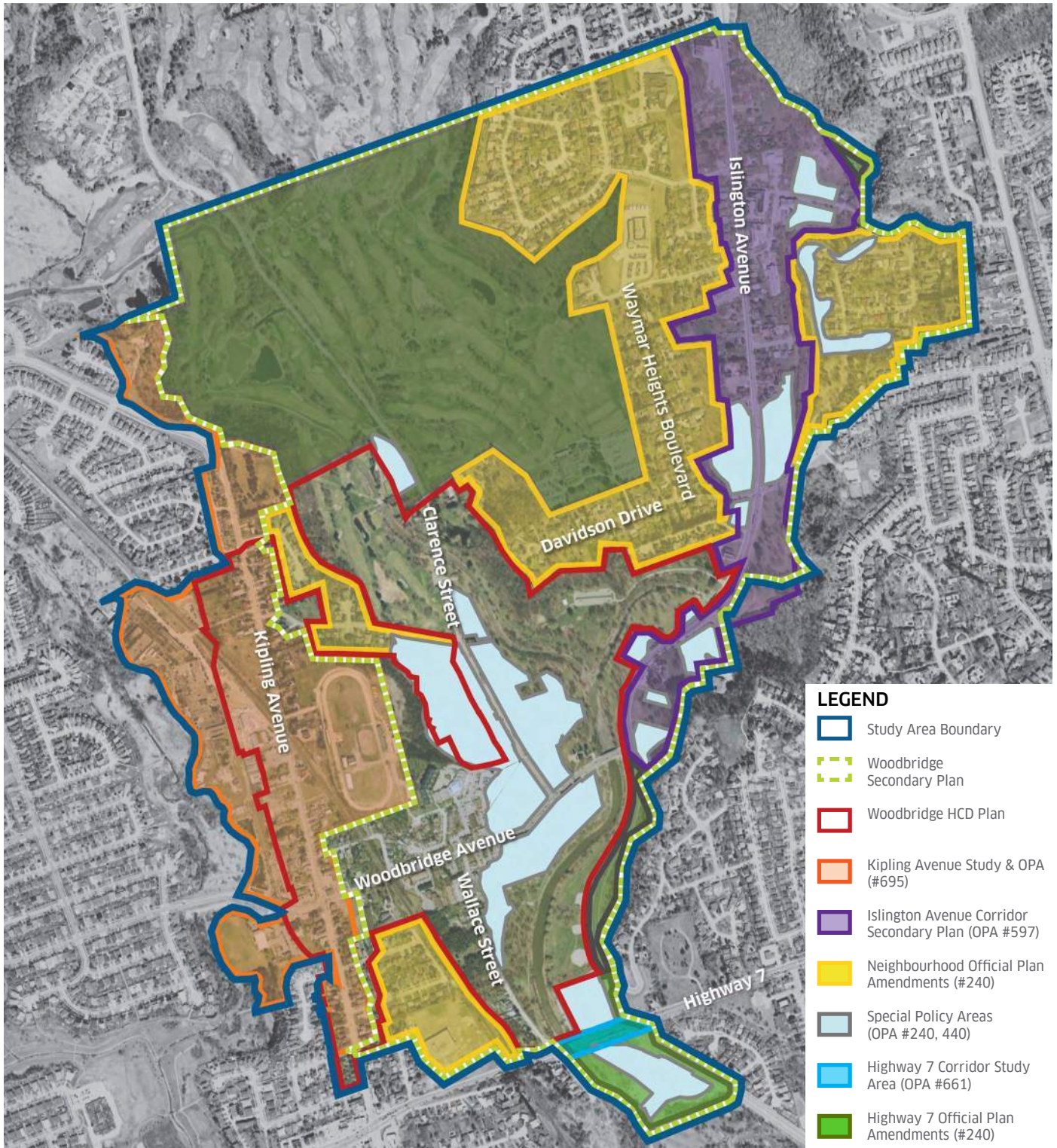


UNDERSTANDING THE POLICY FRAMEWORK

The following section provides an overview of the current policies, and policy structure that guides development within the Woodbridge Area.



*As part of the Ontario Heritage Act (Part 5), the Woodbridge HCD Plan policies and guidelines supercede all other planning policies.

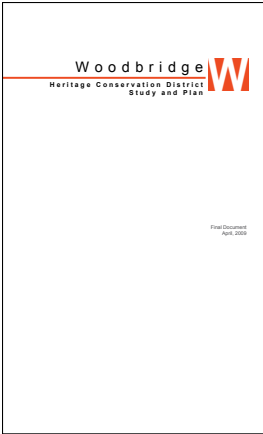


- LEGEND**
- Study Area Boundary
 - Woodbridge Secondary Plan
 - Woodbridge HCD Plan
 - Kipling Avenue Study & OPA (#695)
 - Islington Avenue Corridor Secondary Plan (OPA #597)
 - Neighbourhood Official Plan Amendments (#240)
 - Special Policy Areas (OPA #240, 440)
 - Highway 7 Corridor Study Area (OPA #661)
 - Highway 7 Official Plan Amendments (#240)

Policies and Related Boundaries that Apply to the Study Area

CURRENT POLICY DOCUMENTS

This document makes reference to the following Policy Documents, which are to be read in conjunction with the Urban Design Guidelines. These Policy Documents can be accessed on the City of Vaughan’s website (*Vaughan.ca*).



HCD

WOODBRIIDGE HERITAGE CONSERVATION DISTRICT STUDY AND PLAN

The Woodbridge HCD Plan was adopted under Part V of the Ontario Heritage Act for the purposes of conserving the unique heritage character and assets identified in the Woodbridge area. This heritage character is expressed through numerous attributes and resources found within the district, including, but not limited to: its collection of built heritage, structures, and streets; its extensive cultural heritage landscape that defines the area, represented by natural areas of the Humber River valley lands (both public and private), which give it a very green and park-like setting; important views and vistas between and towards buildings and spaces within the district. The HCD Plan provides a policy framework for conserving and enhancing the area’s character and contributing assets so that they may be preserved for, and enjoyed by, future generations.

DISTRICT PLAN AUTHORITY

Districts as defined by the Ontario Heritage Act, “are areas whose cultural heritage value contributes to a sense of place extending beyond their individual buildings, structures and landscapes”. A permit is required for any alteration that is not considered minor, as well as any demolition or new construction and will not be given unless proven that any change fits within the guidelines of the district plan. In accordance with the Act, “Municipal review of development applications and undertaking of public work within an HCD must be consistent with the district plan.”

Recent amendments to Part V of the Act requires that “municipalities act in accordance with the plan, e.g., in undertaking all public works.” Recent amendments to the Provincial Policy Statement provide additional support for the protection of HCDs through policy 2.6.3, which states:

“Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved. Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.”

Lands adjacent to protected heritage properties can be developed or altered only if the heritage attributes of the protected property are conserved.

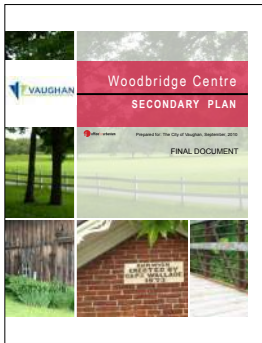
In the case of any discrepancies between the Heritage Conservation Plan or the Secondary Plan, the Heritage Conservation Plan supersedes the Secondary Plan.



KOPA

KIPLING AVENUE STUDY & OFFICIAL PLAN AMENDMENT

The Kipling Avenue Study identifies a vision for future development in the study area and develops an appropriate policy structure to achieve this vision. The policy structure addresses land use planning, the height, massing, and character of built form, conservation of heritage resources, parks and open spaces, and transportation networks. The Study and its policy structure informed the Official Plan Amendment (OPA, #695), which implements these policies for the OPA area.

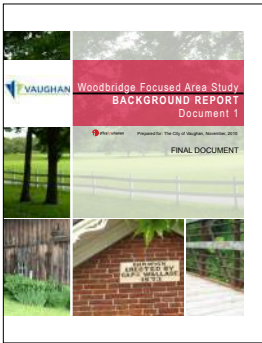


WSP

WOODBIDGE CENTRE SECONDARY PLAN

The Woodbridge Centre Secondary Plan provides land use, urban design, and environmental policies for the Woodbridge Centre area that complements the general policy direction provided in the City of Vaughan Official Plan. The Secondary Plan provides greater policy detail than the Official Plan and additional guidance for development within its boundaries.

The Secondary Plan is supported by several background studies that support its policy outcomes: the Woodbridge Focused Area Study Report, the Woodbridge Focused Area Transportation Assessment Report, and the Woodbridge Focused Area Study Special Policy Justification Report.



FAS

WOODBIDGE FOCUSED AREA STUDY BACKGROUND REPORT

The Woodbridge Focused Area Study provides the background analysis and research to support the Woodbridge Secondary Plan. It identifies a vision for its study area, identifies gaps in the overall policy framework for the area, and establishes a land use and urban design policy framework to appropriately guide future development of the subject lands. The Study also updates the approach to Special Policy Areas, that regulate development in areas that are at risk for flooding during extreme storm events, to be in keeping with new direction in Provincial policy.



RESPONDING TO WHAT WE HEARD

The Vision, Principles, and Urban Design Guidelines in this study, were the result of a collaborative and inclusive engagement process. A broad range of stakeholders participated in the process and provided valuable feedback on policy gaps, policy areas that need clarification, and what the desired design scenario for Woodbridge Avenue should be. The following provides a brief summary of the engagement process:

- **Site Tour and City Staff Workshop (August 25th, 2015):**
This event initiated the “What’s Working, What are the Gaps?” conversation. The consultants were taken on a site tour of the Woodbridge Study Area led by the City of Vaughan’s project team, followed by a Gaps Workshop. The focus for the events was to the experiences, successes and challenges in implementing policies.
- **Stakeholder Interviews (September 11th and 14th, 2015):**
A broad array of individual conversations were held to understand policy issues and from various perspectives including: City Staff, developers, community members, the rate payers association, regional authorities, and councillors.
- **A Harvest Market Pop-up Consultation Event (September 25th, 2015):**
The Pop-up event was intended to take the Woodbridge Avenue design conversation out-to-the-street. The event garnered spontaneous commentary from all age groups on the current state of the Avenue and valuable insight on design preferences. Many of the comments were focused around the higher density development along the Avenue.
- **Stakeholder Workshop #1 and Public Open House (November 12th, 2015):**
Participants joined in a highly interactive workshop on design opportunities and constraints surrounding Woodbridge. A resultant vision and guiding principles were developed to inform the Woodbridge Avenue Streetscape Plan. Participants reviewed the emerging design ideas, opportunities and constraints and the resultant ideas were presented at a public open house event.
- **Developer Round Table (June 15th, 2016):**
Developers were invited to a roundtable discussion regarding the policy gaps in which they provided their opinions on current policies that are working and what additional information needs to be supplemented.
- **Public Open House #2 (June 29, 2016):**
A second Pop-up event was held along the Avenue to get public input on a draft Streetscape Concept. This event was followed by a Public Open House in which the streetscape concept was presented, as well as the feedback received at the Pop-up event.

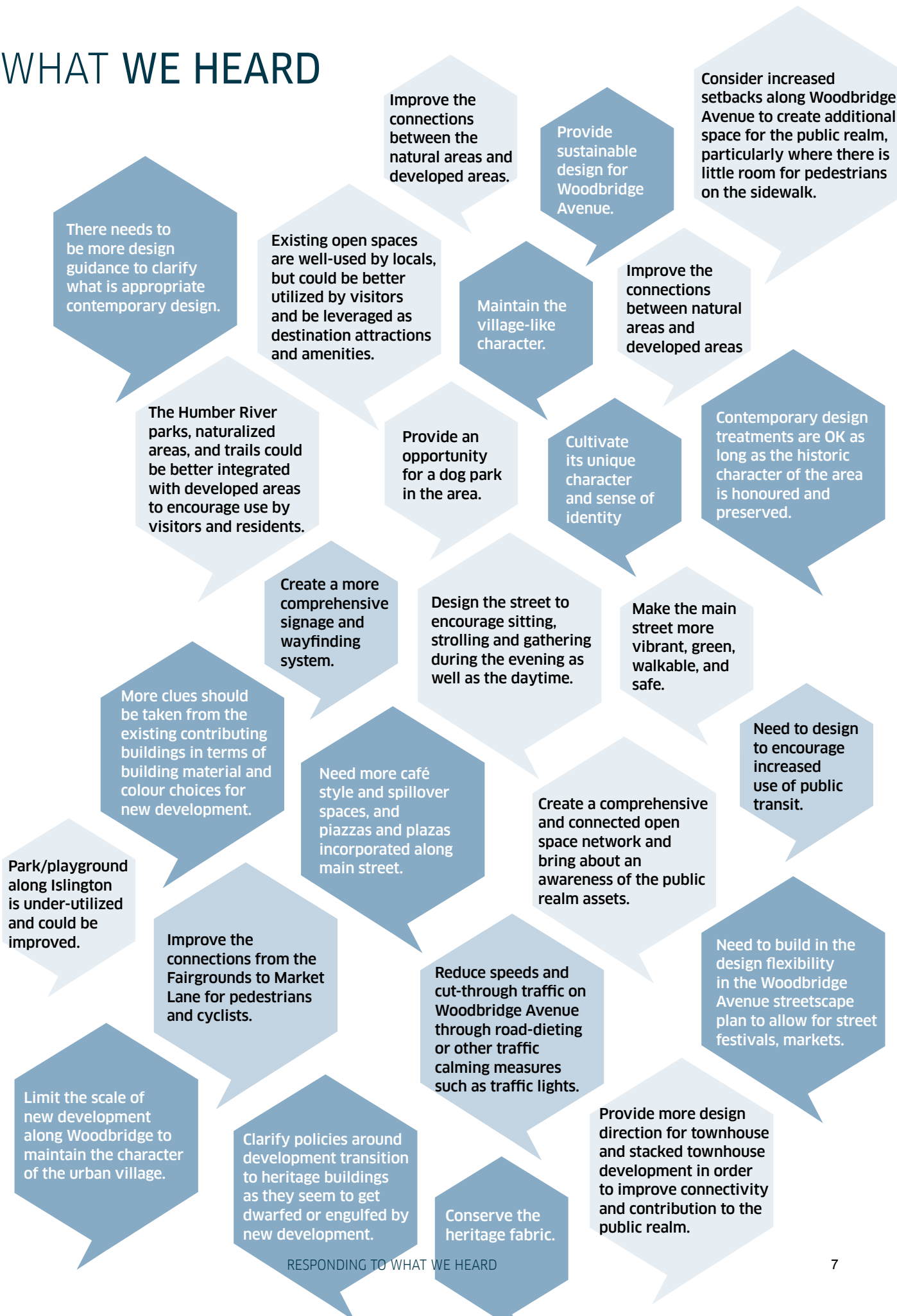


Harvest Market Pop-up Consultation Event



City Staff Workshop - A discussion of the Policy Gaps

WHAT WE HEARD





ALIGNING WITH THE VISION & PRINCIPLES

The following Vision and Principles for Woodbridge are intended to provide clarity and direction on the development of the area.

BUILDING A VISION

Like a tapestry or quilt, Woodbridge stitches together a diverse and colourful history that spans well over 150 years. It is one of the five original villages that have come to make up the City of Vaughan, and has been a popular place to live, as well as to visit throughout its history.

Woodbridge has developed and evolved from a rural community with a strong economy based around agriculture and manufacturing to an urban village; one that retains elements of its past. It has a diverse character. Physically it consists of a wide variety of buildings of varying forms and architectural styles, which define a rich quality of place. Residences are nestled in a forest setting, with buildings set back from the street. Residential streets are very green and lined with trees. There are visual glimpses through open view corridors between buildings throughout, to the river valley. Heritage buildings are represented by a subtle colour palette in general, with red and tan brick, white, grey and green siding, and a strong use of patterning and fenestration that adds charm and uniqueness to the place. Woodbridge Avenue still represents the “village heart” of the community as a welcoming commercial core with a mix of residences and open spaces, and the distinct Market Lane as a key gathering space. The area is wrought with a variety of cultural heritage landscapes and historic landmarks, and the Humber River valley landscape, parks and open spaces define the area as a place nestled within a forest.

As an urban village, Woodbridge’s varying building types (single family homes, commercial buildings, multi-family condominiums) give it a diverse and eclectic character. Historic buildings, all of a modest scale and mass, range in architectural styles - from 19th Century Gothic-revival homes, to mid 20th Century bungalows and contemporary style homes - while new and modern condominium buildings attempt to incorporate design elements from varying eras. Although intensification and a changing built form is starting to influence the character of place, certain elements have remained as distinct defining characteristics of Woodbridge: the compact scale and walkability, the sense of community, and the ever present dominance of the river valley, gives the area a timeless quality and appeal. This inherent character makes Woodbridge a welcoming place to call home, and to work and play in a rich natural heritage context. Socially the Woodbridge area has, and continues to be, home to recent newcomers to Canada as well as a popular community and destination for those across Toronto, Ontario, and Canada.

New buildings, open spaces, and streetscapes within Woodbridge should contribute to developing a timeless character by implementing high-quality design, remaining sympathetic to the scale and massing of heritage buildings and cultural landscapes, and contributing to a beautiful, inviting, and comfortable public realm.

THE VISION

Woodbridge is a place that is represented by, and reflects, a respect for its built and cultural heritage, as the first impression. Its development embraces and sensitively responds to the multitude of heritage assets and distinct characteristics of each of the neighbourhoods and corridors. It reflects the careful integration of timeless quality design of today that takes clues, and is respectful of, the quality design of yesterday. The public realm is designed to connect all significant heritage moments, whether it be a building, landscape, views, or commemoration of the past, telling the story of place, past and present.

Community Building: Woodbridge is envisioned as a safe family oriented place to call home, one that encourages familiarity of past cultures through design, and encourages community building and the integration of new cultures, age groups, and demographics by providing a diversity of housing options.

Pedestrian Priority: Woodbridge is compact and walkable, designed to give the pedestrian priority, and services and amenities are all within short walking distances. A unique, vibrant and animated mixed commercial/residential centre is at the heart of the community, and is the prime destination that draws on both local and regional users.

Commercial Heart: A quality main street is the focus of the commercial heart, designed with generous sidewalks, a full canopy of street trees, enhanced paving and landscaping, quality furnishings and opportunities for seating and socializing everywhere. New piazzas, parkettes, and green linkages are the string of pearls along the Avenue, demarcated with notable contemporary signage that tells the heritage story, builds identity, and provides clear wayfinding.

Placemaking: The Vision is driven by the concept of placemaking, in creating a quality built form and public realm that meets the day-to-day needs of a diverse community. The design of the public realm is forefront as it provides a means to a healthy lifestyle by respectfully capitalizing on a rich and diverse landscape environment that connects residents with nature, and encourages social interaction and the gathering of people, both spontaneously and planned, through an accessible, welcoming and connected system of open spaces.

Character and Identity: The Vision emphasizes quality, beauty, and sustainability in all aspects of design that is inspiring and timeless, showcasing best practices in design, management and maintenance of place that will carry it through time, and integrates art, culture and unique design innovation that continues to build the character and identity of Woodbridge.

THE PRINCIPLES

The Principles are foundational points in guiding the development of Woodbridge, based on the Vision and objectives found in the Secondary Plan and HCD Plan.

1 FOSTER A SENSE OF PLACE AND IDENTITY:

Development contributes to a defined identity and a sense of place for the Woodbridge Area as a contemporary urban village, planned as a destination in its own right, defined by a strong pedestrian realm, a healthy mix of land uses, heritage buildings and landscape assets and resources, and distinct places.



Oakville, Ontario

2 PROTECT NATURAL HERITAGE, VIEWS, AND ENVIRONMENTAL FEATURES:

The Plan area is defined by its forests, river valleys, and overall topography. These environmental features and natural heritage have shaped the identity and character of Woodbridge and are to be preserved, along with associated built heritage features including historic bridges and monuments.



Woodbridge, Vaughan

3 RESPECT AND CELEBRATE HERITAGE RESOURCES:

All new development respects the area's natural and cultural heritage assets and contributes to its heritage character, including its forests and river valleys, its landscapes and streetscapes, and its buildings and structures.



Woodbridge, Vaughan

4 ACHIEVE A HIGH QUALITY ENVIRONMENT:

New development contributes to the defined identity of the area and reflects high quality design standards for architecture, built form, open spaces and streetscapes as a model for design excellence.



Don Mills, Toronto

5 CREATE A VIBRANT CENTRAL MIXED-USE DESTINATION:

The Woodbridge Centre accommodates and encourages a mix of uses to support a healthy economy and vibrant 24/7 community gathering place, that is both neighbourhood focused and destination-oriented. Strengthen Market Lane as the core public amenity area and community focus where pedestrians can gather for social functions and community events.



Montreal Public Square, Quebec

6 ESTABLISH AN ENHANCED AND ACCESSIBLE PUBLIC REALM:

Establish opportunities to enhance existing community amenity spaces, both public and private, and introduce new ones, accessible to all. Creates a variety of spaces including, parks and plazas, hardscaped and softscaped.



Vancouver Streetscape, British Columbia

7 CREATE A SUPPORTIVE ACTIVE TRANSPORTATION NETWORK:

The design of the transportation network supports the expected levels of development and a range of users, including pedestrians, cyclists, public transit, emergency services, and private vehicles.



Eastern Mennonite University Campus: Wikimedia Commons

8 CREATE A CONNECTED NETWORK OF TRAILS AND PUBLIC AMENITIES:

Introduce and connect additional parkland and trails where appropriate to connect residents and visitors with community facilities, public spaces, the Valley Lands, and other public amenities. Maintain and enhance views to key destinations and places for recreation and gathering.



Woodbridge, Vaughan

UNDERSTANDING THE CHARACTER AREAS

FOUR CHARACTER AREAS: THE DISTINCT PLACES WITHIN

Woodbridge is a “tapestry” of distinct places, defined by its diverse heritage buildings, cultural heritage landscapes, unique mixed use commercial core, distinct residential neighbourhoods, and mixed residential commercial corridors. Four distinct places are identified in this study. These places are generally represented on the map on the facing page, and include:

- **Central Woodbridge** - includes the Woodbridge Commercial Core and Woodbridge Avenue Main Street, the golf course north, and the residential streets of Wallace, William, and Clarence that are distinct because of their numerous heritage assets and older neighbourhoods.
- **Kipling Avenue Corridor** - includes lower density residential and hosts one of the areas most significant open spaces, the Fairgrounds.
- **Islington Avenue Corridor** - is defined by a mixture of low to mid density residential and a significant green landscape along the corridor.
- **The Residential Neighbourhoods** - are defined as “stable residential neighbourhoods” in current policy documents. These neighbourhoods, although less aged than the heritage neighbourhoods, are uniquely defined either by their extensive tree canopies and streets, unique topography, and diversity of housing styles.

The following section describes in detail:

- **The Distinct Character** that defines each of these areas,
- **Urban Design Priorities** for the area, as well as
- **Key Urban Design Elements** that are important to maintaining and enhancing the character of place.

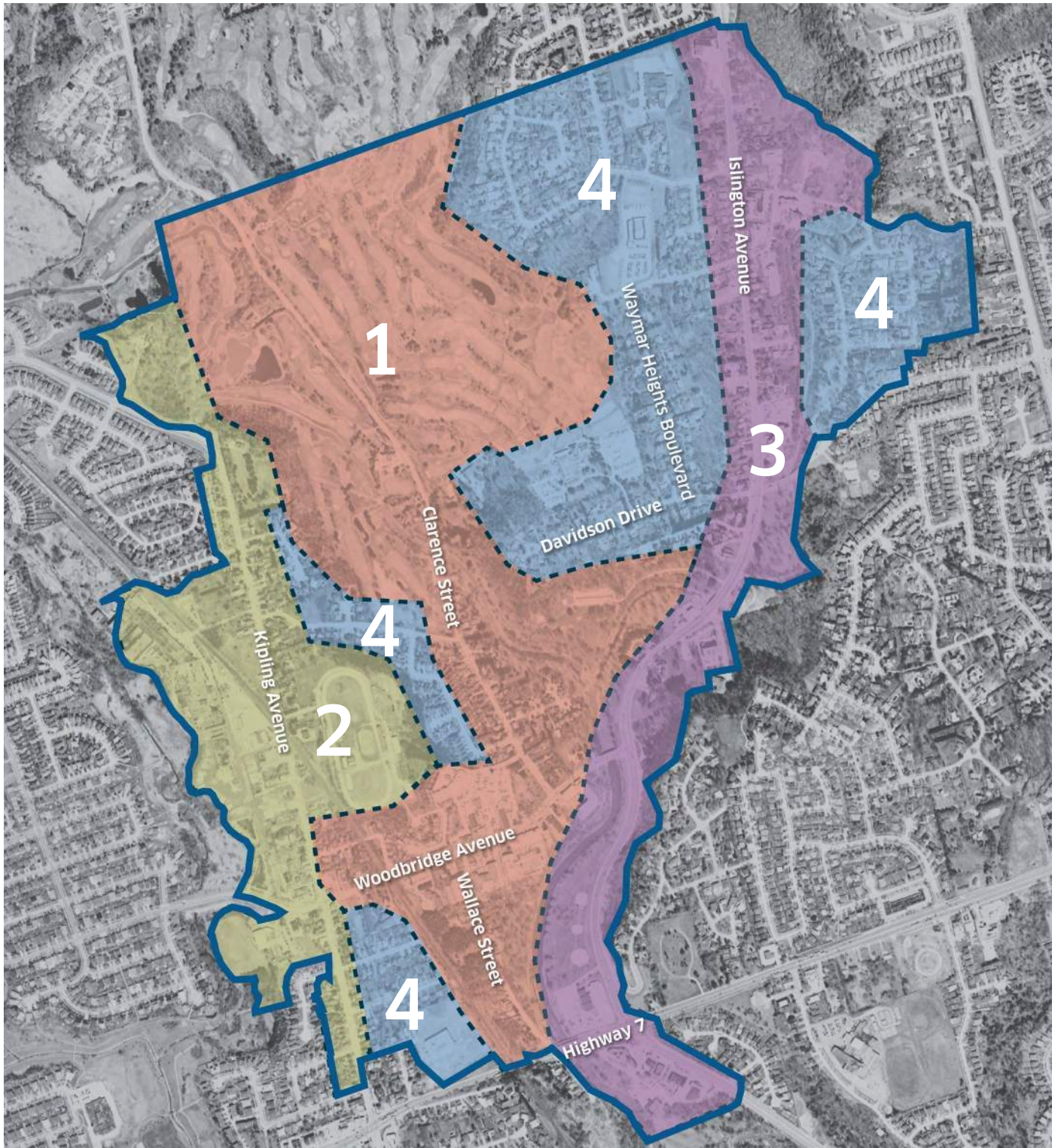
This section should be referenced at the start of a development project process so that there is a clear understanding of what is important from an urban design and heritage perspective.

1
CENTRAL
WOODBRIDGE

2
KIPLING
AVENUE
CORRIDOR

3
ISLINGTON
AVENUE
CORRIDOR

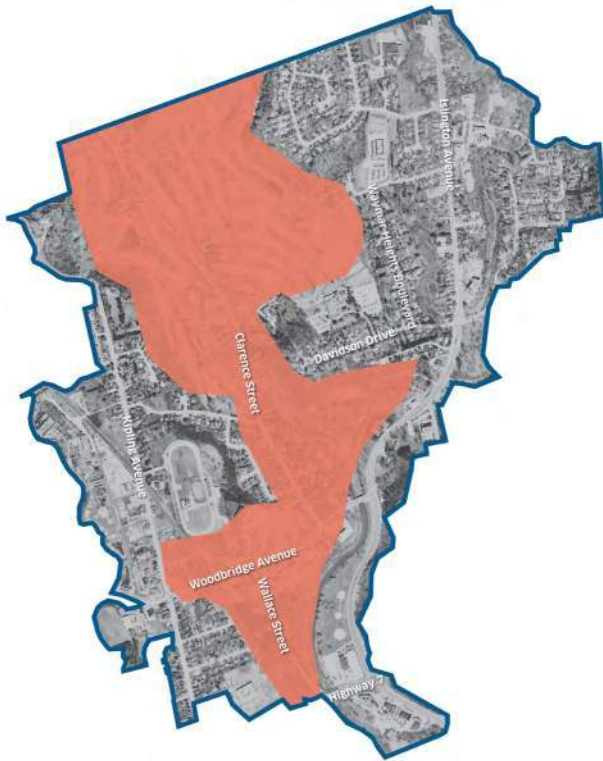
4
RESIDENTIAL
NEIGHBOUR-
HOODS



Four Character Areas

1

CENTRAL WOODBRIDGE



Key Plan

CHARACTER AREA VISION

The Central Woodbridge Character Area is the historical commercial centre of the community, defined by its heritage features and mixed uses, including commercial, institutional, residential, and open spaces. Woodbridge Avenue is the Main Street, from Kipling Avenue to Islington Avenue. At the centre of the commercial core is the Market Lane Plaza, which has been the historical focus for community gatherings, events, recreation and shopping. The area also includes the heritage residential neighbourhoods fronting Woodbridge Avenue, along Clarence Street, Wallace Street, William and James Streets, and extends further north to incorporate the Board of Trade Golf Course. Other significant open spaces integrated in the neighbourhood fabric include Doctors McLean District Park, Fred Armstrong Parkette, the Old Firehall Parkette, and Memorial Hill Park. The eastern part of the area is strongly defined by the Humber River Valley.

The Vision for this character area is that it develops as a vibrant local community centre with a strong animated commercial frontage along Woodbridge Avenue and around the Market Lane Public Square. The HCD Plan outlines the intent to focus residential intensification along Woodbridge Avenue to support the existing and proposed commercial uses and community amenities. Any development within the adjacent heritage neighbourhoods is focused around maintaining the lower density characteristic - single family residences and townhouses nestled in a forested landscape.

Important to the area is the enhancement of the public realm. As such, there is a need for a shift in the dependency of vehicular use, especially along Woodbridge Avenue, to other transportation modes such as transit, cycling, and walking. The promotion of development intensification that supports this multi-modal shift is imperative to creating a vibrant public realm. The retention of the natural features and views, the focus on heritage character, quality built form, and the expansion and connection of the open space system, is a priority in creating a stronger identity and community cohesiveness for the area.

DISTINCT CHARACTERISTICS

The Central Woodbridge Character Area is strongly defined by its mixed-use main street, heritage buildings, cultural landscape, historic bridges, rolling topography, mature tree canopy, view corridors, and parkland. The following provides an outline of key character attributes in the Central Woodbridge area:

Woodbridge Avenue:



Significant heritage buildings mainly 1-3 storeys in height and typical zero metre setbacks



Horticulture and garden landscaping to celebrate heritage



Housing diversity - townhouses and condominiums



Market Lane Commercial Plaza in the heart of the area



Humber River and accessibility to the river view



A string of "green windows" - parks and plazas - that front the main street

Clarence Street and Neighbourhood:



A diversity of architectural styles



Front garden landscapes



Deep setbacks - significant front and side yard setbacks



Valley topography

Wallace Street and Neighbourhood:



Commemorative open spaces - Memorial Hill Park



Diversity of contributing heritage buildings

DESIGN PRIORITIES

- **Celebrate and enhance the existing heritage buildings** such that they are prominent features within the District, through respectful transitions, enhanced landscaping, and adaptive re-use.
- **Any new development should compliment existing heritage built form and character**, including being sympathetic to height, setbacks, frontage treatment, and landscaping.
- **Preserve the early 20th century commercial village character** along Woodbridge Avenue with animated retail at grade mixed with residential frontages, intimate open spaces, and “finger” pedestrian linkages.
- **Revitalize Main Street.** Maintain the small scale road right-of-way and make it pedestrian friendly with walkable sidewalks, street trees, and animated frontages.
- **Increase and enhance the public realm opportunity** along Woodbridge Avenue, to be more connected and accessible, and more of a gathering place and social space.
- **Compliment and enhance the overall look and feel of the commercial street** in new built form by taking clues from the existing quality and timeless heritage assets and materials - stone, brick, white and green siding, and garden landscaping.
- **Connect the many open space assets** through the trails network supported by a wayfinding and signage system, and through open views and view corridors. The open space assets include the bridges, parks, parkettes, the river and valley, the golf course, and commemorative spaces.
- **Extend the trails and public realm** to connect to all other character areas to the core. The main street, residential streets, trails, mid-block linkages should all function as a means of connecting the open space network.
- **Improve the approach to and from the District with new gateway treatments.** Gateway treatments can be designed to celebrate the entrance points but can also enhance the identity and tell the story of place, and identify key trail connections at the gateway junctures.
- **Make all public open spaces feel safe, inviting, and easy to find** with open views and welcoming landscapes from the streets, especially along Woodbridge Avenue.
- **Respect and enhance the overall green forested environment.** All development should feel like it is a respectful and contributing part of the valley forest system. Even development along Woodbridge Avenue, especially higher density development, should consider a significant amount of tree planting or design to incorporate green terraces and roofs.
- **All streets should remain pedestrian-friendly,** safe components of the public realm and should be made universally accessible and walkable with generous sidewalks.
- **Widen sidewalks.** The typical character of the residential streets reflects a one sided sidewalk along the street. To encourage accessibility and increase walkability, the single sided sidewalk should be extremely generous, allowing for two-way pedestrian traffic, and is well lit.
- **Celebrate the many bridges of Woodbridge.** Incorporate and celebrate these heritage structures as integral components of the public realm through art or as part a new streetscape design.
- **Limit the density to that of the current policy structure,** in order to meet the objectives of the design priorities listed above and to achieve the vision for the area.

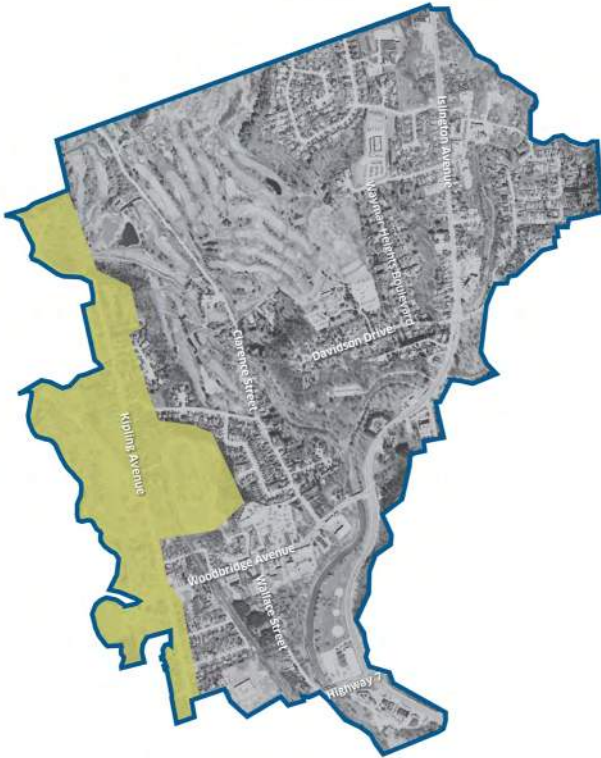
2

KIPLING AVENUE CORRIDOR

CHARACTER AREA VISION

Kipling Avenue area is significant in the context of Woodbridge in that it represents one of the highest concentrations of heritage properties in the City of Vaughan. It is a compilation of Gothic Revival style, of which a number of homes and two churches remain. It has turn of the 19th Century Victorian and Queen Anne Revival properties, as well as Edwardian style houses of the Inter War period and Victory housing dating from the 1950's, when the area saw a huge influx of immigrants from Europe after WWII. The landscape of this Distinct Area is largely defined by the significant historical Fairgrounds open space on the east side of Kipling Avenue, and the natural open spaces and pockets of mature tree stands of the Humber River Corridor, concentrated on the north end of the site. The Fairgrounds, eight hectares in size, is an important piece of Woodbridge's history. Overtime, the fair supported local businesses, culture and community events, and was largely recognized as a stage for elite Toronto society. Today, the Fairgrounds exists as "the Home of the Woodbridge Fall Fair", and is host to a variety of uses for the community.

The Vision for this character area is that it develops as a picturesque, green, urban corridor that offers a place for a diversity of people to live, offering a variety of lower density housing along the Avenue to be in keeping with the 2-3 storey low density scale of the existing heritage fabric, and 4-6 storey higher density development in the areas west. The corridor is intended to be a walkable promenade, a place for people to participate in the everyday activities of urban living, with churches, housing, schools, at-grade service oriented commercial, and open spaces that front the Avenue. The pattern of development encourages people to walk because of the generous sidewalks and deep building setbacks, the permeability of blocks and streets, the trail connections to the river valley west, the Fairgrounds to the east, and new open spaces. The street cross-section accommodates transit and cycling with a transit route and bicycle lanes, on-street parking, a treed streetscape, reduced lane widths, and a multitude of pedestrian nodes and crosswalks that reduces speeds to create a pedestrian oriented public realm environment.



Key Plan

DISTINCT CHARACTERISTICS

The Kipling Avenue corridor is strongly defined by its heritage characteristics, and most notably, by a collection of heritage buildings of various styles and eras. Through the enhancement of the public realm, and the respectful conservation of the many heritage assets, the Corridor can develop as a cohesive and unique pedestrian oriented community for the Woodbridge Area. The following provides an outline of key character attributes in the Kipling Avenue Corridor area:

Kipling Avenue Corridor:



Deep setbacks represented with beautiful and eclectic landscaped gardens



A mixture of 2-3 storey residential buildings with 3m setbacks fronting the Avenue



Notable heritage institutions such as the St. Anne's Church



Diversity of contributing heritage buildings



The Fairgrounds open space asset



Commemorative open spaces



Typical architectural style, quality, and detailing along the Avenue



Significant views from the Fairgrounds



Northeast Kipling valley and (unmarked) trails



Visual and physical permeability between buildings



Via Rail corridor and landscape



Housing diversity and higher density west of the Avenue

DESIGN PRIORITIES

- **Enhance and connect the open spaces** including the mature forest areas, conservation areas, and the Fairgrounds through trails, walkable and accessible streets and pathways. Provide trail connections to the Central Woodbridge area to expand the public realm and accessibility of Woodbridge.
- **Connect the open space assets through a trails network**, supported by a wayfinding and signage system. Provide trail head markers at the many hidden trail connections along the Avenue.
- **Create opportunities for the Fairgrounds to become a greater public cultural amenity**, with year round use, community gatherings of all sizes, and recreational uses. Enhance visibility and connections from the street to increase awareness and accessibility of the open space.
- **Preserve the open long views from the Fairgrounds** and provide viewing opportunities and path connections.
- **Preserve and celebrate architecturally significant historic buildings and settings**, keeping contributing buildings in situ, within their cultural landscape context. Consider use of the typical building materials, colour and detailing for new building development.
- **Implement the Kipling Avenue Corridor Streetscape Master Plan**, which will enhance the public realm along the Avenue by: increasing public open spaces; improving landscaping, walkability, and streetscape quality; and incorporating bicycle lanes and transit amenities.
- **Maintain a high level of permeability between buildings fronting the Avenue** to allow for open views to the landscape beyond.
- **Increase the housing diversity for the area** by providing higher density development in the area west of the Corridor in keeping with the existing Kipling Avenue OPA policies.
- **Embrace and enhance the rail corridor** in accordance with the Kipling Avenue Corridor Streetscape Master Plan such that it is an integrated and identifiable pedestrian crossing.
- **Limit the density to that of the current policy structure**, in order to meet the objectives of the design priorities listed above and to achieve the vision for the area.

2

ISLINGTON AVENUE CORRIDOR



Key Plan

CHARACTER AREA VISION

Islington Avenue is a key connection between Woodbridge and Kleinburg along the Humber River, and connects to Toronto to the south. It benefits from a prominent and mature forested landscape that defines the Avenue, as well as the residential neighbourhoods, with a mature tree canopy. Development is nestled within, and the landscape creates a green scenic drive experience along the Avenue.

Development along Islington Avenue consists of a mix of low to mid-density residential properties, one to four storeys, integrated with significant environmental features such as the Humber River Valley and other noteworthy heritage resources and public amenities. These include bridges, churches, cemeteries, a diversity of heritage buildings, commercial uses, and parks.

The Vision for the Corridor is that it continues to be defined by a mix of uses that provides an amenity base for the adjacent residential neighbourhoods, and it provides an opportunity to diversify the surrounding single family residential development with new housing opportunities to create a more complete community. As such, the Avenue provides some residential intensification but in appropriate locations as specified in the Secondary Plan. The Islington Avenue Corridor should retain the predominantly low density character within the Humber River Valley forested setting.

The area also represents one of the best opportunities within Woodbridge to foster a healthy living environment with its many natural open space assets. The Avenue is envisioned to be more walkable and less vehicular oriented with connected sidewalks and trails, and opportunities for increased transit and cycling. The many opportunities to connect with and experience the forest landscape, river and river valley for recreational purposes should be enhanced with trail markers, accessible trail connections, and usable park spaces. Identification of established trails along the Avenue such as the Toronto Carrying-Place Trail, should be enhanced. The trail name comes from the Mohawk term toron-ten, meaning “the place where the trees grow over the water”. Metaphorically, this is the vision for the Corridor, where development and dwellings are engulfed by the trees.

DISTINCT CHARACTERISTICS

Without question, the Islington Avenue corridor is strongly defined by its landscape. It represents the less urban, more “countryside” component of the Woodbridge area. The character of the heritage built form in general, is very cottage like in style, which is quite in keeping with the character of place, and the Avenue functions as the window to the many natural heritage assets within. The following provides an outline of key character attributes in the Islington Avenue Corridor area:

Islington Avenue Corridor:



Deep setbacks represented with buildings nestled within a forested setting



Notable heritage institutions such as the Maple Leaf Montessori School



The Humber River Valley and conservation lands that defines the edges of the Corridor



A significant forest landscape that defines the Avenue



A mix of low-rise residential development



The Islington Avenue bridges and views



R.G. Henderson Floodway - MTRCA Conservation Lands



Notable intuitional heritage building and cemetery landscape



Small components of commercial amenity along the corridor



Mix of housing typologies



Rolling topography



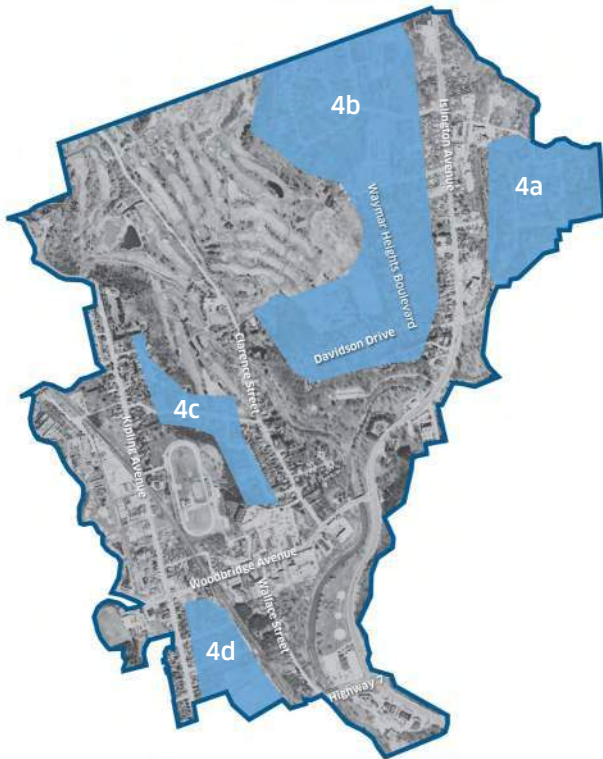
A diversity of heritage building styles, mainly "cottage" in style

DESIGN PRIORITIES

- **Conserve and enhance the natural heritage resources** - the Humber River Valley, Regionally Significant Forests, and the Environmentally Significant Areas.
- **Sensitively integrate development within the landscape** and celebrate the landscape as a development asset. Any new development should respect and enhance the experience of “being engulfed by the trees”.
- **Create a more walkable, pedestrian-friendly environment** along Islington Avenue with generous sidewalks, street trees to complement the natural setting, and lighting so that the Avenue feels safe to walk at night.
- **Conserve and enhance the built heritage assets** such as the contributing heritage buildings and bridge structures.
- **Increase visual and physical access to the Humber River Valley** and create opportunities to recreate within the valley via trails and parks. Provide trail linkages and access points from the Avenue and through the neighbourhoods, to the park spaces and natural landscape.
- **Create a new pedestrian bridge connecting the east and west side of North Johnson District Park**, which would make the park more accessible and increase the park’s usage. It would further enhance the collection of bridges that defines the history and character of the area.
- **Maintain the deep front and side yard setbacks** that define the heritage development pattern.
- **Maintain the low rise pattern of development** along the Avenue, in keeping with the Woodbridge Avenue Secondary Plan.
- **Create a multi-modal, transit friendly corridor** by providing frequent and accessible transit service and amenities, bicycle lanes, and sidewalks.
- **Provide a signage and wayfinding strategy for the parks and trails.**
- **Limit the density to that of the current policy structure**, in order to meet the objectives of the design priorities listed above and to achieve the vision for the area.

4

RESIDENTIAL NEIGHBOURHOODS



Key Plan

- 4a - East Islington Neighbourhood
- 4b - West Islington Neighbourhood
- 4c - West Kipling Neighbourhood
- 4d - South Kipling Neighbourhood

CHARACTER AREA VISION

The residential neighbourhoods are mainly characterized by old and new, more contemporary in style, single family houses in general. Most of the four identified neighbourhoods 4a-c, are defined by the river valley landscape. The neighbourhood along Kipling Avenue south, 4d, is more urban in setting, primarily because of its proximity to Highway 7.

These areas are identified as “stable residential” neighbourhoods in the current policy documents, primarily because they are to remain low-rise residential in designation (as per Schedule 3 of the Secondary Plan). All of the neighbourhoods are defined by deep frontyard setbacks. Those within the river valley system are further defined by significant side yard setbacks and landscaping. The residential streets are quiet, well connected, and accessible. The neighbourhoods are predominantly defined by a one-sided or no-sided sidewalk street cross-section, catering to a more suburban car oriented environment. Many of the neighbourhoods, which are within or adjacent to the valley, are characterized by the rolling topography, either hill landscape or valley landscape, and are in close proximity to large open spaces and heritage landscape resources with excellent views to the open spaces.

The Vision for all the neighbourhoods is that they remain as single family residential, contributing to the critical population mass for the Woodbridge community and be welcoming family oriented environments. The neighbourhoods should be connected to and integrated within the natural heritage context and be safe, walkable, cycling places with sidewalks, lighting, and pedestrian oriented streets. All neighbourhoods should develop in a manner that respects the cultural landscape and natural environment, and enhance the natural canopy with street tree planting and enhanced landscaping. The unique and diverse building styles, although primarily contemporary, contribute to the overall diversity of the built form for the area and represent eras of development that in the future, will also be recognized as contributing components to the built heritage landscape.

DISTINCT CHARACTERISTICS

In terms of preserving the characteristics, what is distinct to the Residential Neighbourhoods include the expanses of green with integrated development within, responding to the rolling topography, respecting the deep setbacks and low rise house forms, and the quiet nature of the streets and public realm. The following provides an outline of key character attributes in the Residential Neighbourhoods:

Residential Neighbourhoods:



4a - heritage building styles



4a - mature tree canopy and deep setbacks



4a - a mix of heritage and contemporary styles



4b - quiet and green residential streets



4b - houses nestled within the forest canopy



4b - unique architectural styles



4c - deep setbacks and extensive tree canopies



4c - Meeting House Road hillside topography



4c - residential development integrated within the forest setting



4d - deep setbacks and no sidewalks on one side of the street



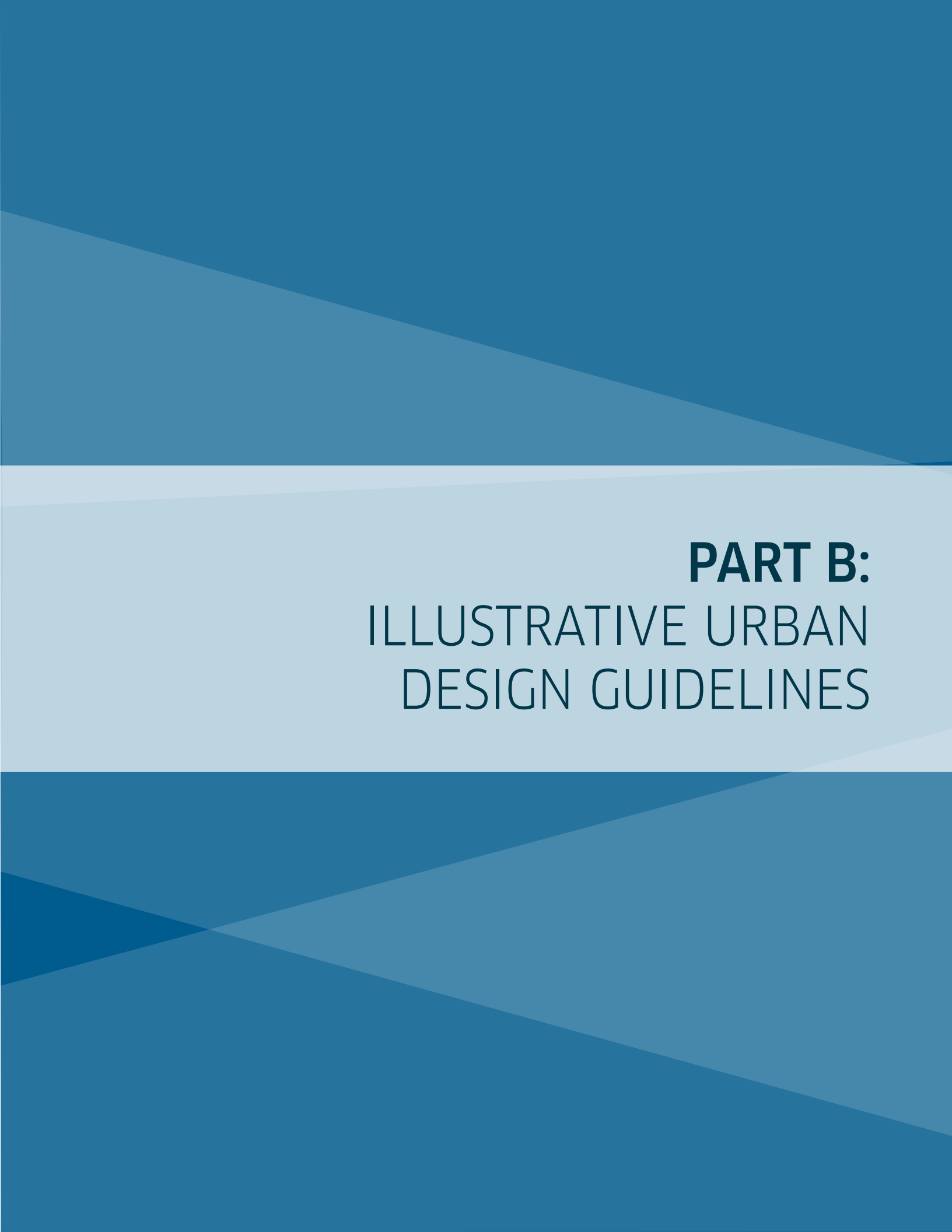
4d - typical one to two storey built form



4d - adjacency to the rail corridor forest landscape

DESIGN PRIORITIES

- **Maintain the distinct character that is unique to each of the neighbourhoods**, which includes the primarily single family residence form, scale and density, nestled within a green setting.
- **Respect the distinct setbacks, heritage styles, and natural topography** represented in all neighbourhoods.
- **Enhance walkability and pedestrian connectivity** via pedestrian oriented streets, trails, pathways, and bridge connections. This needs to be a stronger design consideration for the neighbourhoods. All streets should have generous 2m wide walkable sidewalks (whether on one side or on two sides of the street). Connectivity should be a design priority in order to link neighbourhoods to each other, to adjacent amenities, and to the commercial core. This would reduce the car dependency in the Woodbridge area.
- **Improve the “green” character of the South Kipling Neighbourhood** as it functions as the south gateway for the area. Enhance the neighbourhood with a significant street tree canopy and landscaping to be in keeping with the general green character of the Woodbridge neighbourhoods and overall area.
- **Protect significant views and connections to the rail corridor forest landscape from the South Kipling Neighbourhood.** Provide a trail connection along the rail corridor that connects the neighbourhood to Woodbridge Avenue.

The background consists of several overlapping geometric shapes in various shades of blue and white. A prominent white shape is a large, irregular polygon that frames the text. The overall composition is clean and modern.

PART B:
ILLUSTRATIVE URBAN
DESIGN GUIDELINES



THE ILLUSTRATIVE URBAN DESIGN GUIDELINES

The contents of the Illustrative Urban Design Guidelines are classified under the Built Form and Open Space categories, in keeping with the frameworks found in existing Policy Documents.

BUILT FORM GUIDELINES

The **BUILT FORM GUIDELINES** are primarily focused on clarifying some of the complexities around development within a heritage district and providing an ample amount of information in addition to the current policies, that will guide City Staff, developers, and landowners towards the respectful conservation of heritage assets.

OPEN SPACE GUIDELINES

The **OPEN SPACE GUIDELINES** are important in terms of providing additional design guidance and recommendations toward the development of a complete, well connected, and quality public realm that makes the vast amount of cultural heritage landscape in the area accessible, connected, and usable. The guidelines look at open space opportunities that can be achieved through the development process and how these spaces can be designed to contribute to enhancing the overall public realm. The guidelines also provide recommendations on conservation and enhancement of the natural heritage assets so that the “green” forest canopy remains a key part of Woodbridge’s identity and heritage.

EXISTING POLICY REFERENCES

The following symbols represent each of the current policy documents that are referenced in this document. Look for these under each Guideline as they represent the documents (policies) and the sections in them that are relevant to the Guideline being referenced. For a full understanding of these policies, the Policy Documents should be referenced in conjunction with the Guidelines.

HCD WOODBRIDGE HERITAGE
CONSERVATION DISTRICT STUDY
AND PLAN

KOPA KIPLING AVENUE STUDY AND
OFFICIAL PLAN AMENDMENT

WSP WOODBRIDGE CENTRE
SECONDARY PLAN

FAS WOODBRIDGE FOCUSED AREA
STUDY AND REPORT

GUIDELINE RELEVANCE TO CHARACTER AREAS

The following symbols represent each of the Character Areas that are found in Woodbridge. Look for these under each Guideline as they represent the Character Areas relevant to the Guideline being referenced. The full description of each Character Area can be found in Part A of this document.

1 CENTRAL
WOODBRIDGE

2 KIPLING
AVENUE
CORRIDOR

3 ISLINGTON
AVENUE
CORRIDOR

4 RESIDENTIAL
NEIGHBOUR-
HOODS

BUILT FORM GUIDELINES

1.0 ENABLING CONTEMPORARY DESIGN

Woodbridge is reflective of at least 12 recognizable contributing building styles which collectively, makes the area a unique and distinct village. At one point in time, each building style was of a particular era, was “of its time”. “Contemporary” as such, can be defined as “of the moment.”

It is the conservation of the diversity and collection of styles over time, representative of varying eras, that will continue to defining the uniqueness of Woodbridge.

EXISTING POLICY REFERENCES

HCD

- Conservation Approach: Section 6.2
- Contemporary Design: Section 6.3.2
- Building Materials: Sections 6.3.3, 7.1

WSP

- Land Use Designations: Section 3.2

KOPA

- Heritage Conservation: Section 3.2.2
- Architectural Character Guidelines: Section 3.2.3.3

FAS

- General Land Use Designations: Section 4.0

GUIDELINES RELATE TO THE FOLLOWING CHARACTER AREAS:

1

CENTRAL WOODBRIDGE

2

KIPLING AVENUE CORRIDOR

3

ISLINGTON AVENUE CORRIDOR

4

RESIDENTIAL NEIGHBOURHOODS

Note: All images within this section are the ownership of either DIALOG or Phil Goldsmith Architects.

Contemporary Verses Modern

Contemporary is not to be mistaken with “modern,” which is a design movement from the 1920’s focusing on minimalism and simplicity in design form, removal of unnecessary detail, clean lines and right angles, and the use of natural materials. However, a design can be both modern (in design), and contemporary (of this time) at the same time, which is often seen today given the strong emphasis on environmental sustainability, durability, and simplicity in design. A design doesn’t have to be something new. It can be borrowed and re-adapted in its execution, or it can incorporate alternative materials that speak to today’s technologies. The design may incorporate similar materials that bridges the gap between different period styles.

Quality Design & Materials

The most recognizable buildings, those of which tend to be valued most and stand the test of time, are those that are of high quality design and materiality, and that often complement and embrace the context in which they reside. This means that all aspects of a building, all sides, must reflect quality design and materials, and not just the façades that are adjacent to a heritage structure or fronting a street. New development is to be “neighbourly” from all vantage points, and provide a good fit within this village context, while at the same time representing quality design of a new design era.

New design may be a contemporary style or a contemporary interpretation of historic forms. The caveat or criteria for any new development in conserving Woodbridge as a distinct heritage village, is to design to a high quality standard, and in adherence to the policies and guidelines of Section 6.2, 6.3 and 7.0 in the HCD Plan, for materials, colour palette, style, patterns, forms, lines, etc.

The following section provides a visual guidance and further detail for enabling contemporary design in the Woodbridge Area. It includes:

- contemporary development next to a heritage building,
- contemporary additions to buildings, both side and rear,
- examples of contemporary design of varying building densities and typologies, and
- new contemporary buildings that reflect the level of design and material quality (at the front, rear, side), that should be achieved for the Woodbridge area in order to enhance and create a distinct character of place that stands the test of time.

ILLUSTRATIVE GUIDELINES

1A. NEW BUILDING ADJACENT TO A HERITAGE BUILDING

1. New developments should reflect a high level of design quality and materiality that is in keeping with contemporary design standards.
2. Contemporary designs should consider complimentary materials, texture, colour, massing, form to the adjacent heritage building(s); incorporating key attributes of heritage buildings in the design of new adjacent development.
3. Contemporary designs should maintain the character, proportions, scale, and height of its adjacencies.

EXAMPLE 1:

A new contemporary three storey residential building that is modern in style.

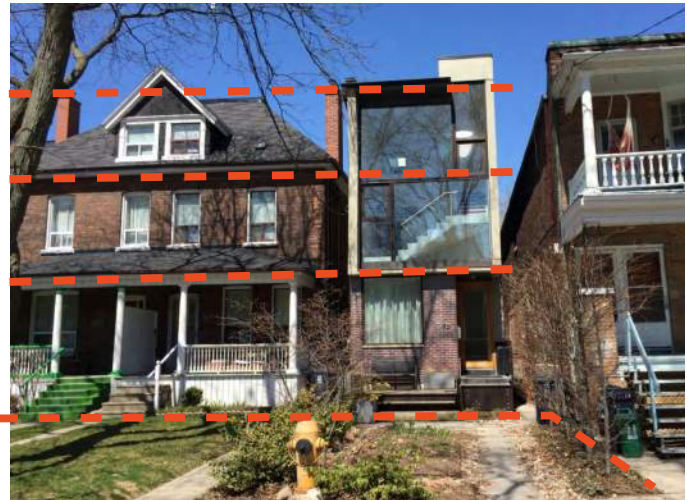
- although much different in style to the adjacent buildings, the new building maintains proportional building lines, the deep setback of the original building footprint, the brick and wood materials, and the front verandah
- the new building reflects quality in design that demonstrates a good balance of brick, zinc, wood, glazing, and stucco materials in a composition that does not overpower the adjacent buildings and existing street character, and adds to the diversity of the street

Maintained the building height of the adjacent buildings

Maintained the first and second storey building lines

Maintained the front verandah and the use of brick

Maintained the original building setback to be in keeping with the adjacent residences to the west of the site, respecting the deep setback character of the street



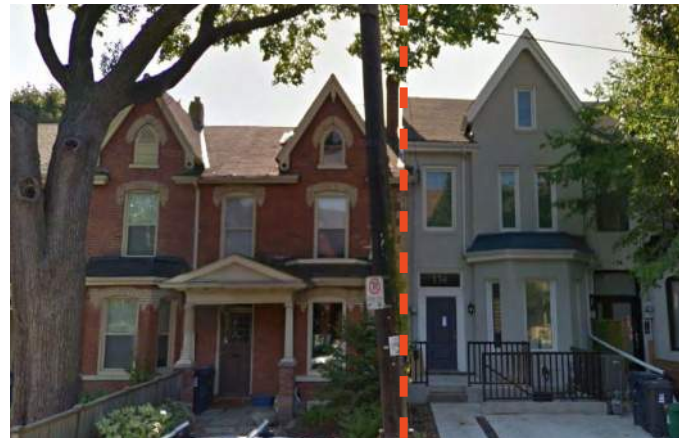
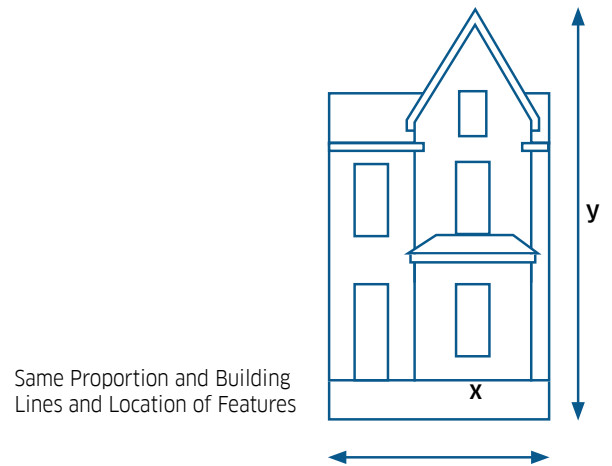
Historic Building

New Contemporary Building -
Modern in Style

EXAMPLE 2:

A new contemporary residential building that maintains the character of its adjacencies.

- character of the adjacent row townhouse building style has been maintained, including the width to height building ratio (x,y), historic form, and massing in relation with street fabric, ratio of solid to transparency fenestration, and setback
- a bay window is incorporated instead of a flat window as well as contemporary style window detail, and stucco is used rather than brick for a more contemporary look - elements do not detract from the historic building fabric and instead provide diversity to the built form while maintaining the heritage character of the street



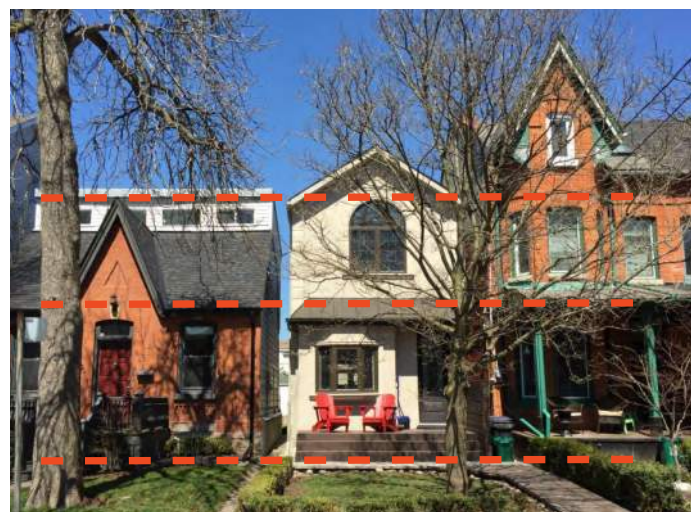
Historic Building

New Contemporary Building

EXAMPLE 3:

A rear addition to an historic building as well as an adjacent new contemporary building.

- both developments maintain the quaint character of the original structures
- addition to the single storey residence is mainly to the rear of the building such that the original heritage structure remains the predominant feature to the street
- new building introduces stucco as a new material in proximity to the surrounding buildings, but the design (height, scale and massing) is complementary to the adjacent single storey building and adds to the character and diversity of the street



Historic Building
with a Rear
Addition

New Contemporary
Building

Historic Building

EXAMPLE 5:

A mid-rise infill development in a heritage setting.

- building is a contemporary representation of the existing built form
- similar building proportions, flat façade, building lines, rhythm, spacing and patterning of windows, are in keeping with neighbouring buildings
- continues proportions of long windows on the first two floors, shorter windows on the upper floors
- quality of design is represented on all building frontages - side street and main street
- use of brick and maintaining the quality of building materials and design
- maintains three-part building proportions and base at the street
- slight setback of the fifth floor suggesting an attic similar to the adjacent building



New Contemporary Building - Historic Building
Modern in Style

EXAMPLE 4:

A mid-rise infill development in a heritage setting.

- similar building proportions and building lines are maintained, including window design characteristics
- use of brick with the dark eaves are in keeping with the existing building, but of a slightly different variation such that the building remains unique unto itself
- material quality of the existing buildings and of the street is maintained



New Contemporary Building - Historic Building
Modern in Style (Renovated)

1B. ADDITIONS TO A HERITAGE BUILDING

1. All building additions should reflect a high quality of design, complimentary to its existing heritage structure. They should be in keeping with the setting and character of place.
2. The existing structure, in all cases, remains the predominant feature. Key heritage features, including landscapes, should be respected and celebrated in terms of transition and setbacks.
3. Additions have the option of replicating existing heritage designs and period styles, or integrating contemporary design.

EXAMPLE 1:

A rear addition to a heritage building.

The addition demonstrates a design quality in keeping with the existing building. Similar, if not the same building materials are used. The style of the windows are maintained but given a modern scale. The box like form of the original building is replicated. The materials used in the landscape also look like a continuum of the heritage landscape.



EXAMPLE 2:

A rear addition to a heritage building that is modern in style.

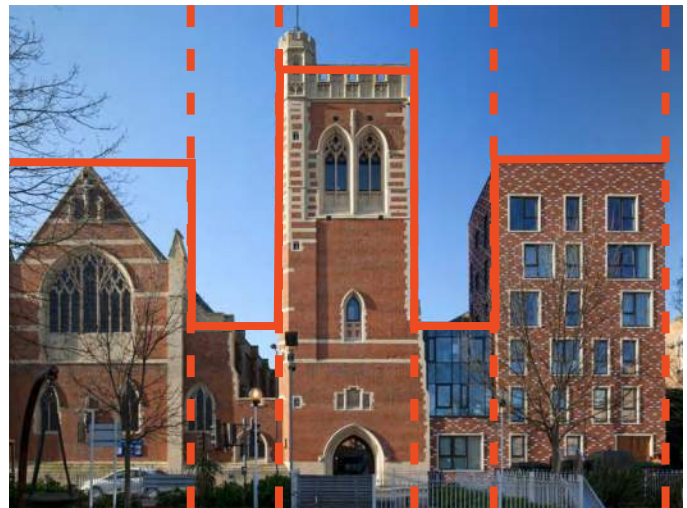
- addition reflects quality materials and design that are complimentary to the existing building style
- materials used - wood, metal, glass - enhance the design of the existing brick building, even though the design has modern gestures in contrast to the existing style
- scale of the addition is a good fit as it does not overpower, detract, or dominate the existing structure
- similarities are made by drawing from the existing colour palette - the “displayed” floor and white walls of the glass box brings out the colours in the building’s windows and brick



EXAMPLE 3:

A side addition to a prominent heritage asset.

- although contemporary in style, the addition uses the same brick colour palette while reflecting its own unique design
- proportion, scale, and massing respects the prominence of the tower by creating the same side setback, height and similar width and proportions of the existing heritage building on the other side of the tower
- the new building provides an equal weight in detailing as its counterpart
- the glass “reveal” (linking atrium), provides an appropriate and clear gap between new and old
- the new building, although very contemporary in design, represents a “good fit” with the existing heritage building and adds design diversity to the overall structure



Historic Building

New Contemporary Building

Rhythm of the overall Built Form Composition

1C. QUALITY BUILDING DESIGN & MATERIALS

Contemporary design may use an existing material palette or introduce new materials that are complimentary to the existing palette of an existing building, adjacent building, or buildings within a distinct Character Area in which it is located.

- i. **Being literal** - utilizing the same materials as existing heritage buildings but in a contemporary design form/configuration.
- ii. **Using new and innovative quality materials** that share similar qualities of the historic ones such as colour, pattern, form, or texture, or are complementary to the existing materials.

When considering a material palette for a new design, it is critical to review requirements outlined in the Woodbridge HCD Plan, in conjunction with this document, which defines a palette that “fits with” and complements the heritage character of the greater Woodbridge area.

The following 10 examples illustrate the material palette appropriate to Woodbridge heritage area as defined by the HCD. All reflect high design and material quality that is carried through to all sides of the building.

Materials Palette of Existing Heritage Buildings

The approved materials outlined in the HCD include:

- brick masonry;
- stone masonry; and
- wood siding.

Additional details for specific architectural elements such as windows, foundations, and roofing, are found in Section 7.1 of the Woodbridge HCD.

Materials Palette for New Build, Additions, and Renovations

The approved materials outlined in the HCD include:

- brick, stone, traditional stucco;
- wood siding and trim;
- glass windows and storefronts; and
- various metals.

An additional range of contemporary materials can be considered on a case by case basis.



Relmar House, Forest Hill, Toronto (Architects Luc Bouliane, Photographer: Bob Gundu)

EXAMPLE 1:

Contemporary rendition of a heritage style; built in response to the existing topography.

- quality materials used - stone, glass, metal - materials do not dominate the landscape
- colour palette is subdued and complementary to the context - white and red colours in the stone are used for the contemporary portion of the building
- the building style and composition, although contemporary, has a traditional look



EXAMPLE 2:

Modern building design that integrates the landscape.

- quality materials and quality design is reflected
- the choice of a simple palette of natural materials - wood, stone, glass - are complimentary to the surrounding forest context
- the building design and scale integrate the open space - glass transparency, open interior courtyards
- same building materials are used in the landscape design



EXAMPLE 3:

Contemporary example of a townhouse form.

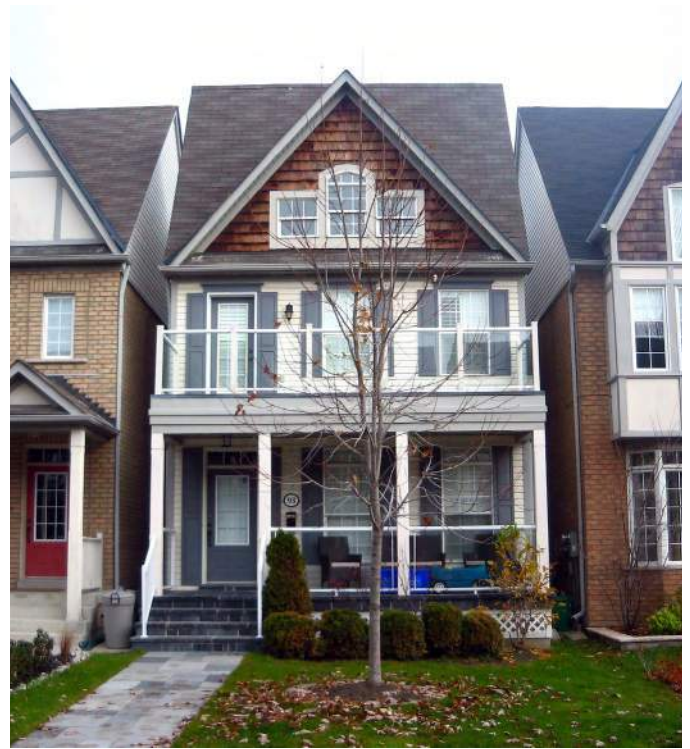
- quality materials and quality design is reflected - wood siding, brick, metal, and glass
- materials and simple lines are used to delineate entrances, floors, and articulate each unit
- quality materials are translated to the landscape creating welcoming and attractive front garden interfaces to the street



EXAMPLE 4:

Contemporary rendition of a heritage style single-family residence.

- quality materials used to emulate a traditional building style - wood siding and shingles, glass, and stone
- simple colour palette used, complementary materials, and quality design detail
- same colour palette used for the example below

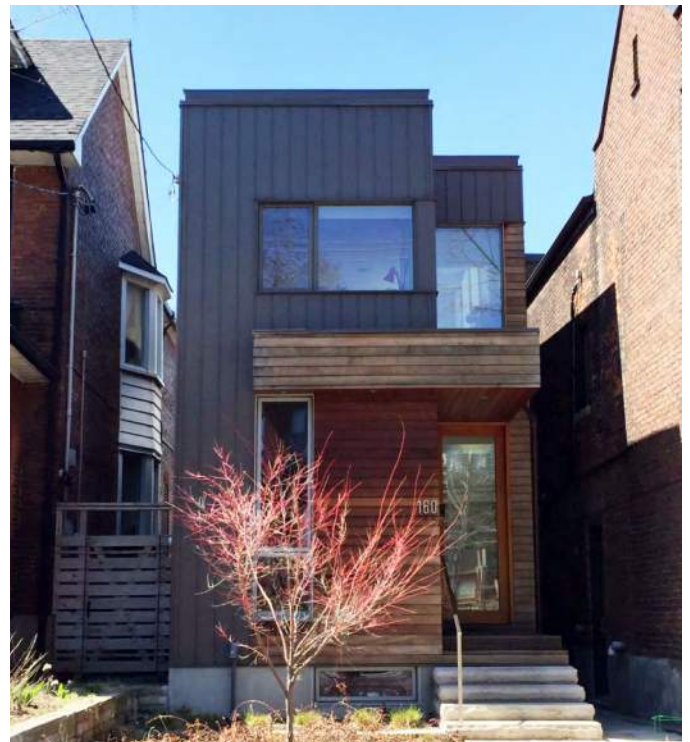


EXAMPLE 5:

Modern design single-family residence in a heritage setting.

- quality materials used on a modern building style - wood siding, glass, zinc, and stone
- simple colour palette used, complementary materials, and quality design detail
- same colour palette used for the example above

Whether modern or traditional in style, the common elements to both examples are quality materials, a simple colour palette, quality design detail



EXAMPLE 6:

Contemporary higher density buildings reflecting quality materials.

- both buildings, although different in style, reflect complementary high quality materials - brick, stone, glass, zinc, and iron
- similar red brick, different window detail but same materials and geometry used create a cohesive design language between buildings
- material pattern used to articulate building units in the townhouse form
- the mid-density building reflects a balance of between solid and transparency



EXAMPLE 7:

Contemporary townhouses reflecting quality materials.

- quality materials and building detail used for a contemporary townhouse design - brick, high quality stucco, glass, and stone
- traditional brick is used as the predominant material but in a contemporary colour and look
- simple colour palette but the mix of materials are used to articulate each unit and to create interest in the façade
- the same quality materials is translated in the landscape creating a continuity in quality design



EXAMPLE 8:

Contemporary townhouses reflecting quality materials.

- quality materials and building detail used for a contemporary townhouse design
- traditional red brick colour together with the wood siding creates a more traditional look to the building
- materials are used to delineate ground floor units from upper units and to create interest in the façade
- the same quality materials is translated in the landscape creating a continuity in quality design



EXAMPLE 9:

Contemporary rendition of a heritage style townhouse.

- quality materials and design simplicity used for a contemporary building creating an elegant traditional form complementary to adjacent building styles - traditional stone and stone colour, wood, glass, and steel
- predominant use of stone provides a simple context for traditional detail of the windows and doors
- Varying stone patterns and the subtle building articulation provides façade interest
- there is a good balance between solid and transparency



EXAMPLE 10:

Modern style mid-rise apartment building in a heritage setting.

- quality materials and design simplicity used for a contemporary building - brick, glass, two types of metal, and stone colour
- simple palette of materials and design detail used to articulate the building façade
- colour of adjacent building materials used as complementary accent colour to bridge new with old development



2.0 DEVELOPMENT SCALE & TRANSITION

Development must fit appropriately with the scale and character of its context, and transition respectfully to buildings and open space, whether heritage contributing or not, to conserve, protect, and enhance the character of the Heritage Conservation District area and the greater Woodbridge area. If not done properly, the proximity and transition, and the scale and massing of new buildings to existing contributing heritage properties, can have an adverse affect on the conservation and enhancement of these properties, their attributes, and to the conservation and enhancement of the overall heritage district.

A healthy transition to a heritage property is also about respecting the *Distinct Heritage Character* that defines the district at various levels. New development must consider the heritage attributes that define the specific *Character Area* as well as the specific *Cluster of Properties* in which the new development resides.

The Heritage Conservation District (HCD) Section 6.0 and relevant Schedules 3 to 9 specifically, must be reviewed and understood in the context of any new development application, to understand the importance of respectful transitions to adjacent heritage properties. The supplementary guidelines and imagery in this section elaborates and provides further visual clarification on the HCD transition policies.

EXISTING POLICY REFERENCES

- HCD**
- Analysis of Inventory: Section 4.2
 - Street Wall Height and Scale: Section 6.4.2
 - Transition of New Buildings to Heritage Resources: Section 6.5

- WSP**
- Urban Design Policies: Section 4.1.3
 - Heritage Conservation: Section 5.3

- KOPA**
- Urban Design Policies: Section 3.2
 - Height Zones: Section 4.4.1 (Study Report)
 - Transition to Heritage Buildings: Section 4.5 (Study Report)

- FAS**
- Urban Design: Sections 5.0, 5.1
 - Land Use and Urban Form Policies: Sections 4.1, 4.2

GUIDELINES RELATE TO THE FOLLOWING CHARACTER AREAS:

- 1**
CENTRAL
WOODBRIDGE
- 2**
KIPLING
AVENUE
CORRIDOR
- 3**
ISLINGTON
AVENUE
CORRIDOR
- 4**
RESIDENTIAL
NEIGHBOUR-
HOODS

Contributing Landscapes

The term “properties” in a “concentration of properties that contribute to the heritage character” refers to all aspects of the property including the building and the landscape. Contributing landscapes are part of the contributing property. It is the context in which the heritage contributing building resides. Most of these landscapes reflect assets such as mature tree canopies or distinct typography that are part of the overall cultural heritage landscape resource of the Woodbridge Area. These open space “heritage resources” must be conserved, protected, and be visually accessible (when possible) in addition to the building. Therefore transitions to a heritage building must also entail appropriate setbacks to mature trees and must not destroy or modify distinct topographical features, water bodies, or sensitive habitats.

Non-Contributing Buildings

Healthy and respectful development transition policies also apply to non-contributing properties within a heritage district when it relates to different building typologies such as mid-rise development adjacent to low-rise development, or high-rise development adjacent to mid-rise development. The purpose of this transition is to conserve the character established by both historic buildings as well as more recent buildings that were built in accordance with existing built form policies and guidelines.



Key to the Woodbridge HCD is first, conserving the structures and landscapes that contribute to the HCD’s heritage character, and second, managing the introduction of new structures and landscapes in such a way that they harmonize with contributing buildings and contribute to the district’s heritage character.

STEPS TO UNDERSTANDING HOW TO TRANSITION TO HERITAGE RESOURCES

The following section demonstrates developing adjacent to contributing heritage structures and landscapes, and specifically includes:

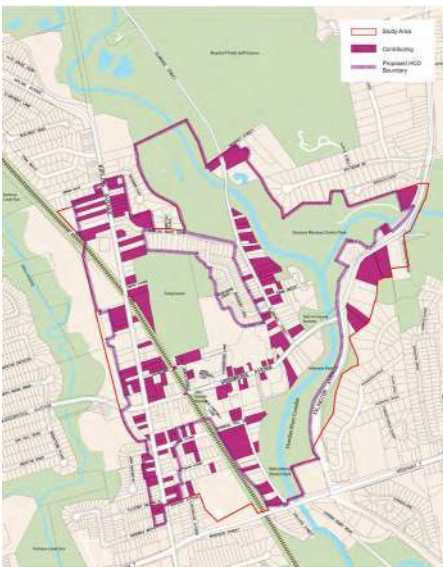
- A. development transition to a contributing heritage resources;
- B. development transition between varying densities; and
- C. development transition to a heritage resource on an adjacent property.

STEP 1

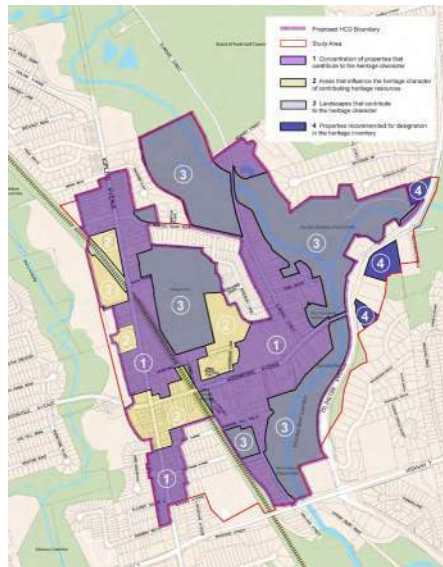
UNDERSTAND THE ROLE OF THE PROPERTY IN THE HERITAGE CONTEXT IN ACCORDANCE WITH THE HCD.

The first course of action in the design and development application process is to understand the role of the property:

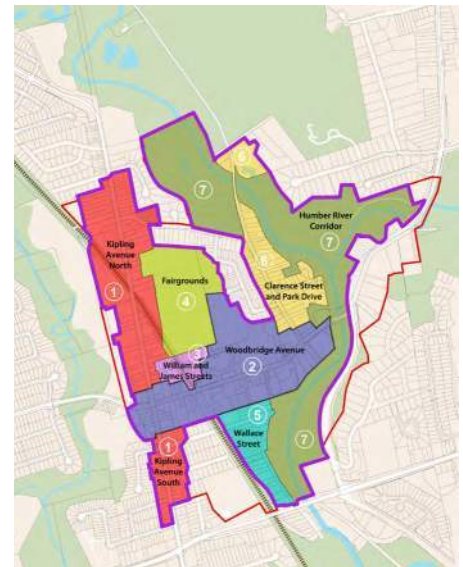
- as a Contributing Property,
- as part of a Cluster of Properties, and
- as part of a defined Heritage Character Area.



Contributing Properties



Defined Cluster of Properties



Defined Heritage Character Area

STEP 2

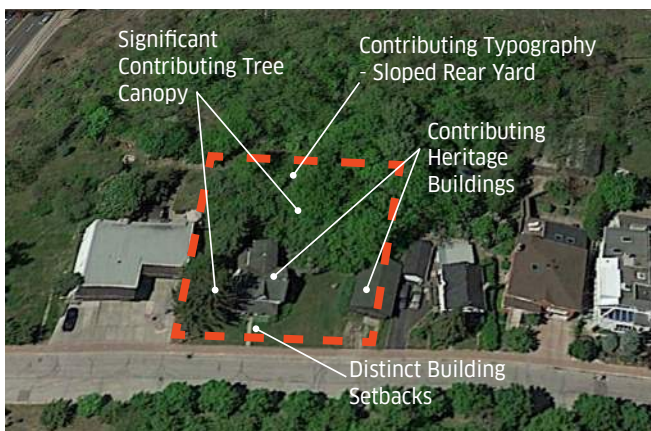
UNDERSTAND THE CHARACTER AREA VISION, THE DISTINCT CHARACTERISTICS THAT ARE IMPORTANT TO MAINTAIN AND ENHANCE, AND THE URBAN DESIGN PRIORITIES.

The second course of action is to understand:

- the character area that the property resides and what is important to maintain and enhance, and
- what are the urban design priorities, the key urban design elements that have to be taken into consideration in the design process.



A "Cluster of Properties" that define a distinct "Heritage Character Area.



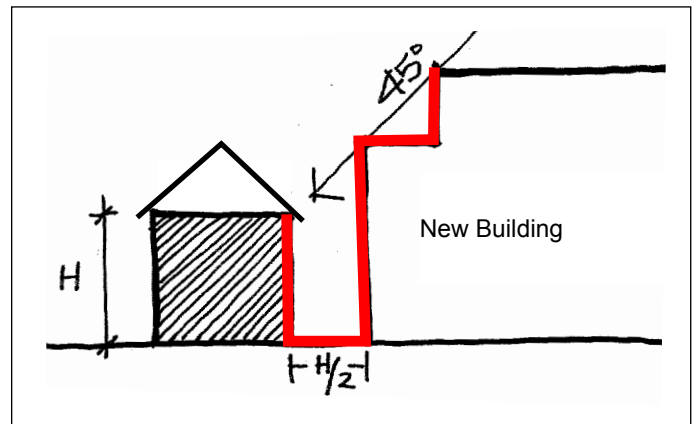
Key Characteristics and Urban Design Elements: deep setbacks, lower density development, extensive side yards, frontages facing the street, significant contributing heritage buildings and tree canopy, rolling topography, builtform nestled within the landscape.

STEP 3

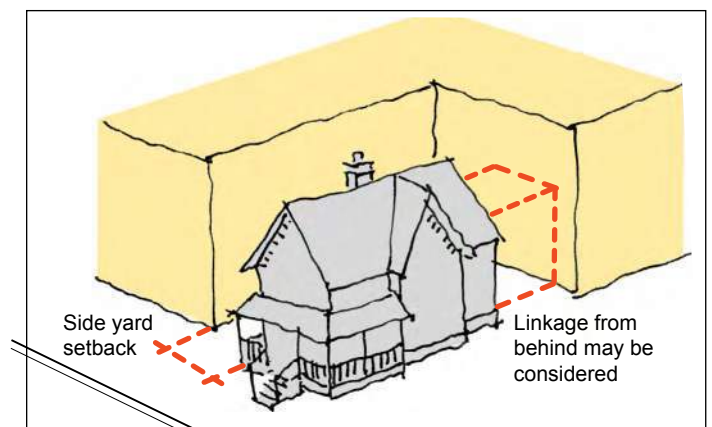
APPLY THE APPROPRIATE POLICY PARAMETERS SUCH AS SETBACKS AND ANGLE PLANE HEIGHT TRANSITIONS.

The third course of action is to apply the appropriate:

- setbacks
- step-backs, and
- angle plane height transitions.



HCD Document: Side set-back and angle plane step-back



HCD Document: Setback spacing around a contributing building and potential attachment to the rear of a contributing building

ILLUSTRATIVE GUIDELINES

2A. TRANSITION TO CONTRIBUTING HERITAGE RESOURCES

Building Guidelines

1. New development must conserve the attributes of a Heritage District which includes building structures and landscapes.
2. New development must consider the heritage attributes that define the specific *Character Area* as well as the specific *Cluster of Properties* in which the new development resides.
3. Adjacent development should not usually overpower or overshadow a heritage property.
4. Where additional height to 6 storeys is allowed on a contributing mid-rise residential property, the additional 2 storey height should be concentrated at the rear of the contributing building so as not to obstruct views or overpower the contributing building, and conform to the set-back and step-back transition policies and guidelines outlined in the HCD.
5. If the rear of the contributing building is considered to have significant heritage attributes upon review of a heritage assessment or heritage architect, the same set-back and step-back transition applies.
6. Where additional height is allowed, there must be a respectful transition to adjacent lower rise properties. See guidelines within the following section, "Transition Between Varying Densities".
7. The architectural design of the new building must be complimentary to adjacent contributing buildings considering the existing style, building lines, materials, and significant features and details - see Section 6.2 and 6.3 of the HCD and Section 1.1 Enabling Contemporary Design, of this document.

The City of Vaughan requires a Heritage Impact Assessment when it considers that cultural heritage value of a building and/or landscape may exist, or be effected by any new construction.

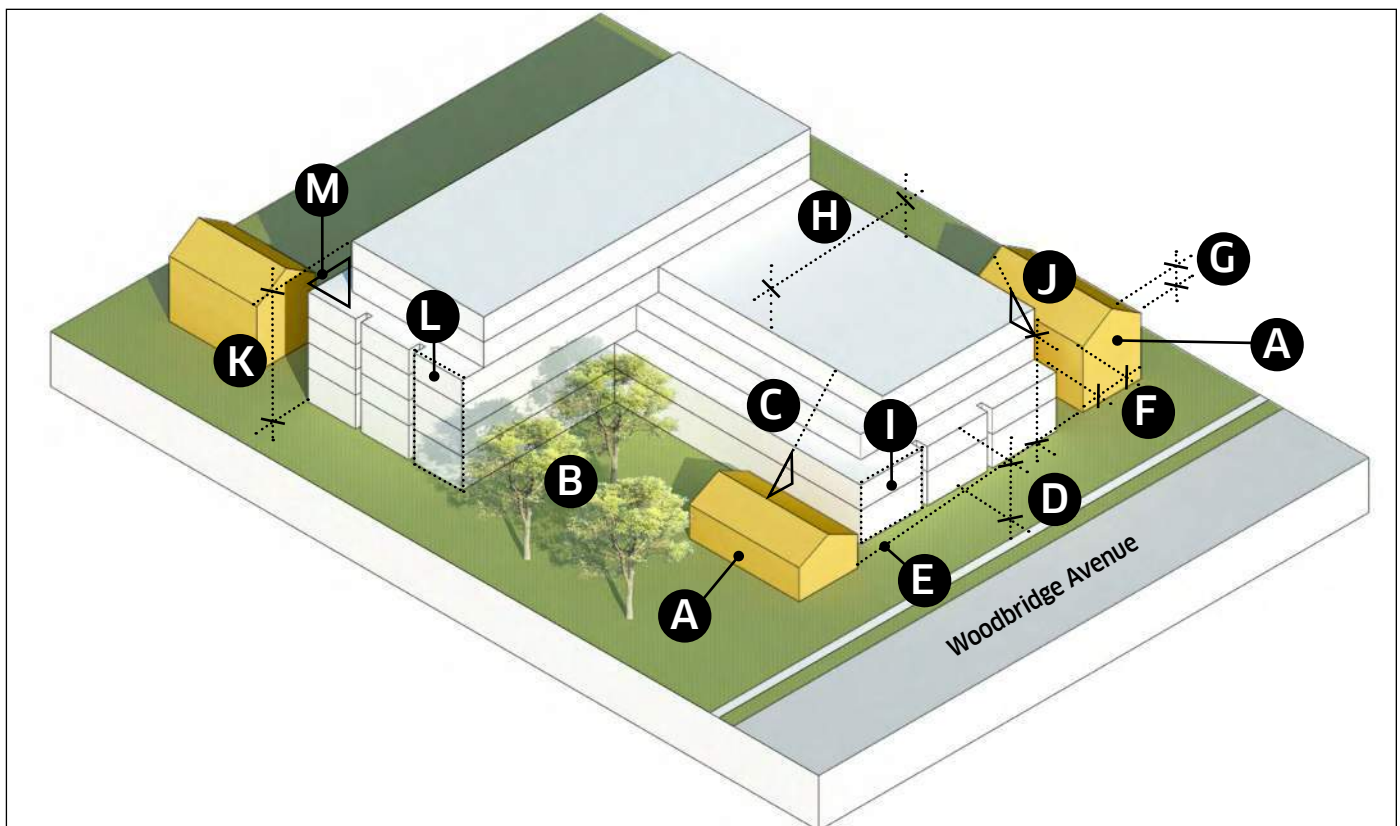
Cultural Heritage Landscape Guidelines

1. Landscape "heritage resources" as defined in Section 6.0 of this document, must be conserved, protected, and be visually accessible (open to a view corridor, pathway), because they are key defining components of a District.
2. Landscape "heritage resources" can include a tree of historical significance, a mature stand of trees, Regional Forest, distinct typography or natural feature, landscape that contributes to the building heritage such as a slope/hill that a building is built in.
3. Transitions to a heritage property must consider appropriate setbacks to mature trees and must not destroy or modify distinct landscapes, topographical features, water bodies, or sensitive habitats. Refer to the City of Vaughan Tree Protection by-laws for the protection of public and private trees within the City's boundaries.

DEMONSTRATION OF GUIDELINE 2A:

Transition to contributing heritage buildings, between varying densities.

- A. Contributing heritage buildings.
- B. Contributing heritage landscape.
- C. Angle-plane setback from contributing building.
- D. Two storey podium for any building fronting Woodbridge Avenue. Although a 2-4 storey podium is prescribed in the current policy, a 2 storey podium is recommended to better reflect the character of the street and heritage fabric, and to allow for maximum sun exposure on the street.
- E. The setback of the new building should not go beyond the average front setback line between the two heritage buildings.
- F. Side set-back based on half the height of a contributing building.
- G. Building height measurement for a gable, hip, or gambrel roof.
- H. Angle-plane constraint - additional height to six storeys is only allowable if appropriate transition is achieved.
- I. Building façade should be articulated to create a fine-grain commercial frontage in keeping with the heritage stand-alone buildings. Division of the podium levels that form the primary street wall should articulate divisions, scale, and form in keeping with the heritage building pattern.
- J. The angle-plane step-back at the 13m (4 storey) building height.
- K. Concentration of allowable additional 2 storey height at the rear of the buildings and property.
- L. Building façade should be articulated to create a fine-grain residential frontage in keeping with the adjacent stand alone residential buildings. Division of the podium levels that face the street should articulate divisions, scale, and form to reflect a stand-alone residential building pattern.
- M. Step-back transition to adjacent low-rise residential.



2B. TRANSITION BETWEEN VARYING DENSITIES

The height structure defined in the HCD Plan, the Kipling Avenue Corridor OPA, and the Woodbridge Centre Secondary Plan reflects a pattern of two storey maximum increments between the different densities and building typologies. For example, the policies for the Islington Avenue Corridor reflects a 3.5 storey height maximum adjacent to 2 to 2.5 storey low density development. The policies along Kipling Avenue are similar. Anything beyond this pattern is as per an existing condition.

A condition that needs further transition guidelines include mid-rise residential properties having a 4-6 storey height range adjacent to low-rise development. This occurs mainly along Woodbridge Avenue and adjacent to Arbor's Lane in the Clarence Street neighbourhood. Along Woodbridge Avenue, up to 6 storeys is allowed in certain areas and in some cases, there is an adjacency to 1-2 storey residential fabric usually at the rear of the property.

In such cases where an existing low rise contributing building is within or adjacent to a higher density development parcel, the new building design must be in keeping with the HCD Plan's transition guidelines for adjacency to contributing buildings and properties.

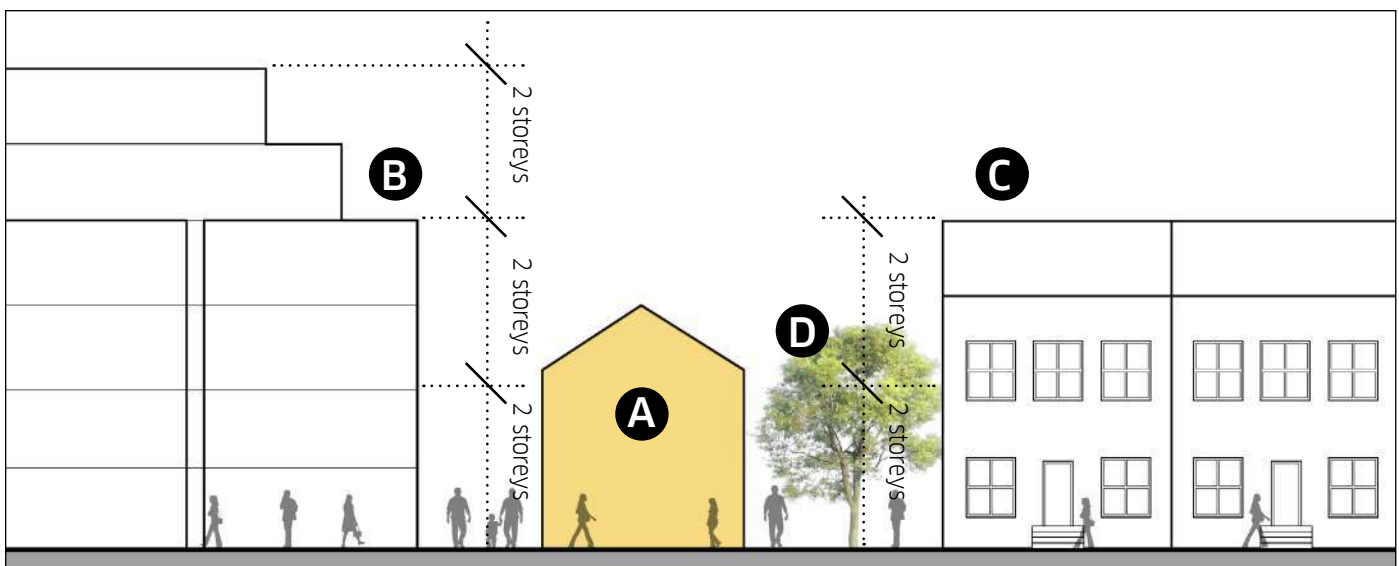
Building Guidelines

1. New development must provide a respectful transition to the adjacent low density residential fabric and should consider adhering to the 2 storey transitional height pattern of development between the different densities and building typologies within the Woodbridge area.
2. Any 6 storey development adjacent to an area having a two storey height maximum should provide a step-back after four storeys. This allows for a healthy terracing down in height to the adjacent low rise fabric in keeping with the typical heritage height in the area.
3. The step-back after four storeys should be a minimum 3 metres a maximum of 5 metres, up to 6 storeys to allow for ample sunlight penetration and open views.
4. Other conditions or historic patterns should be considered such as generous side yard setbacks.

DEMONSTRATION OF GUIDELINE 2B:

Transition between building typologies and densities.

- A. Existing two storey building.
- B. Step-back at four storeys for adjacent 6 storey mid-rise building.
- C. Townhouse at 2 - 4 storeys adjacent to existing building.
- D. Generous side yards to allow for a respectful transition and spatiality around existing lower density buildings and landscapes.



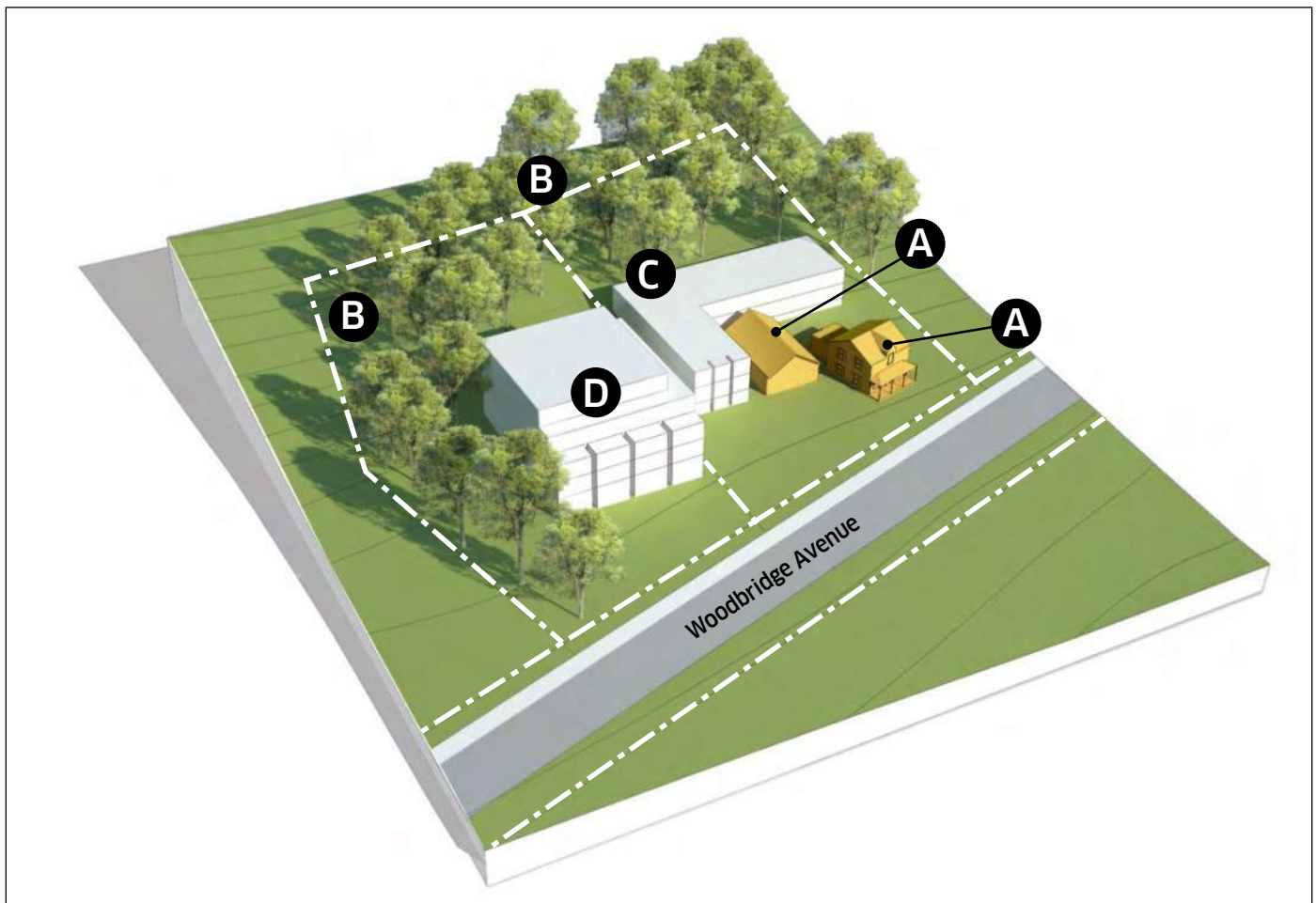
DEMONSTRATION OF GUIDELINE 2A & B:

Transition to a contributing heritage building and cultural heritage landscape.

The demonstration assumes the following:

- development within a distinct heritage character area,
- development adjacent to a contributing building and cultural heritage landscape on the property, and
- development adjacent to a contributing property (building).

- A. Heritage contributing buildings to be protected and remain in situ.
- B. Heritage contributing landscape to be protected - including topography and mature stand of trees.
- C. New development is integrated into the existing typography and appropriately set back from existing heritage buildings and trees.
- D. New development provides a respectful transition to the adjacent low rise buildings, responds to the topography, and preserves the heritage contributing landscape.



3.0 BLOCK & PARCEL DESIGN

This section clarifies design requirements for two distinct typological block and parcel conditions. The first has to do with the appropriate design and structure of a block to respond to current municipal policies and goals to create a safe, walkable, permeable, and connected place. The second condition has to do with increasing the allowable density on a block while maintaining and enhancing the existing contributing site conditions, heritage assets, and distinct character of place of the specific Character Area and the District. Both conditions have to do with achieving the right block and parcel design, and building configuration and massing to achieve the desired vision and goals for the area.

Permeable & Connected Block Design

The neighbourhoods, the commercial areas, and the open spaces that define the Woodbridge Area are intended to be integrated, connected and accessible. The block pattern and structure for any new development should be extremely permeable, allowing for a high degree of vehicular and pedestrian connectivity, circulation, and visibility. This includes a fine network of public and private streets to allow for ease of vehicular circulation and walkability throughout the area. This includes the development and enhancement of sidewalks, pathways, and trails that will increase the level of connectivity internal to blocks and between blocks, from neighbourhood to neighbourhood, and to all open spaces and cultural heritage landscapes, making them visually and physically accessible to all.

EXISTING POLICY REFERENCES

HCD

- Public Open Spaces, Parks, and Public Streets: Section 6.6.1

WSP

- Block Pattern, Street Network and Linkages: Section 5.1

KOPA

- Urban Fabric: Sections 2.2, 4.3, 4.3.6

FAS

- Block Pattern, Street Network and Linkages: Sections 4.2, 4.2.1

GUIDELINES RELATE TO THE FOLLOWING CHARACTER AREAS:

1
CENTRAL WOODBRIDGE

2
KIPLING AVENUE CORRIDOR

3
ISLINGTON AVENUE CORRIDOR

As development increases within the area, increasing the public realm space by allowing a greater level of connectivity to existing spaces and to new spaces through new linkages and connections becomes very important. Making these linkages safe, welcoming, and comfortable pedestrian environments is also important. Therefore creating great streetscapes, clear points of access, and a quality public realm environment must be factored in to the design of a block or development site. Elements to consider include:

- providing street trees and sidewalks on all internal streets;
- providing multiple points of access;
- providing a visual termini or draw into a space;
- creating connections between blocks and to adjacent open spaces and heritage features; and
- bringing private amenity spaces to the street so that they are publicly accessible to the neighbourhood and are a contributing part of the public realm.

Increasing Density on a Site While Maintaining Character of Place

Development intensification is encouraged in specific areas, such as the Islington Avenue Corridor area, to provide housing diversity for the area. That said, development has to be sensitive to the character and ecology of place, and maintain what is distinct to each District. Considerations include protecting contributing buildings, cultural heritage landscapes, significant tree canopies, unique landscape features and typologies, water bodies, and sensitive natural habitats.



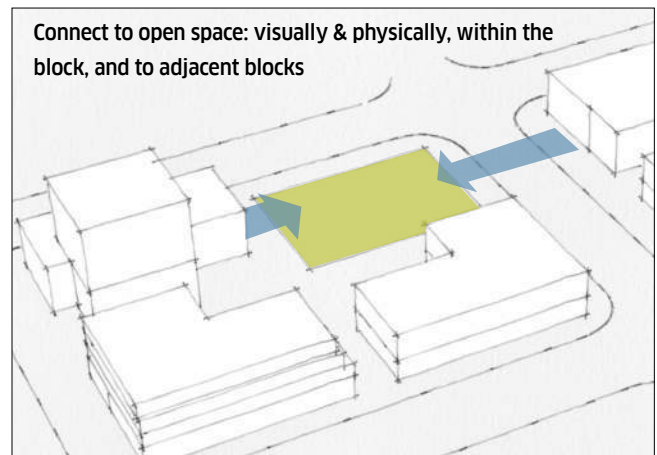
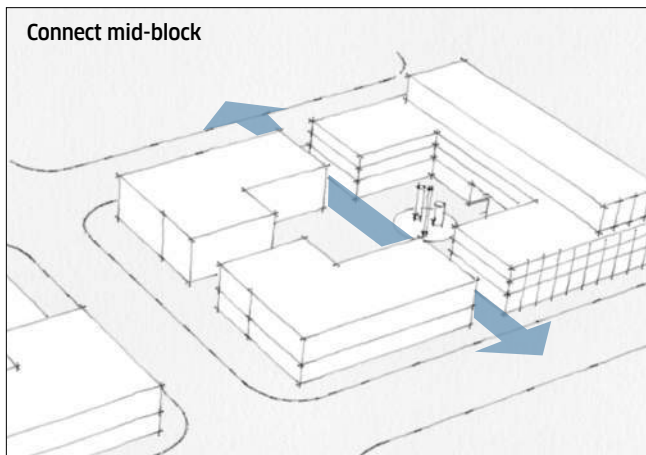
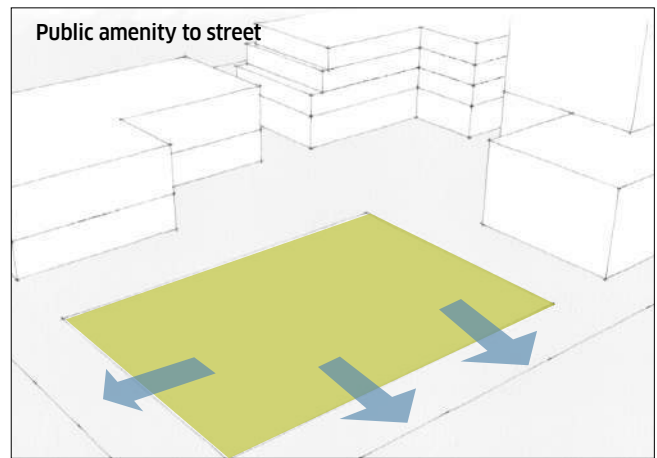
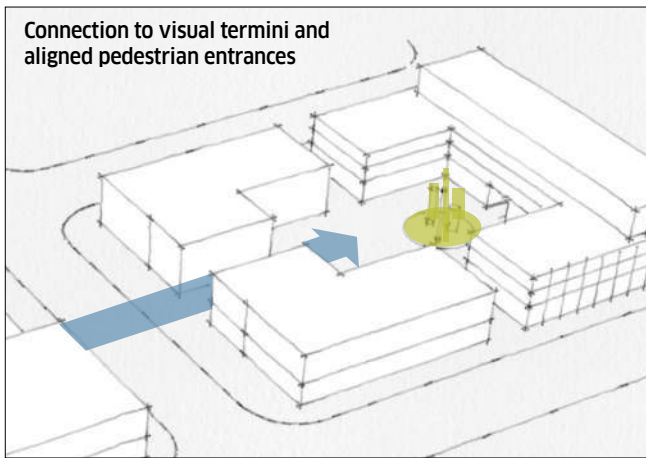
Implementation of new building in a valued setting

ILLUSTRATIVE GUIDELINES

3A. PERMEABLE & CONNECTED BLOCK DESIGN

1. Create permeable development blocks by creating a connected internal street network that is connected to the public streets.
2. Provide multiple pedestrian access and egress points within a development block.
3. Create visible, safe, and accessible mid-block pedestrian connections internal to a block and externally to adjacent properties.
4. Provide access to open space amenities within the block and connect amenities to existing adjacent trails and parks.
5. Avoid creating dead-end streets.

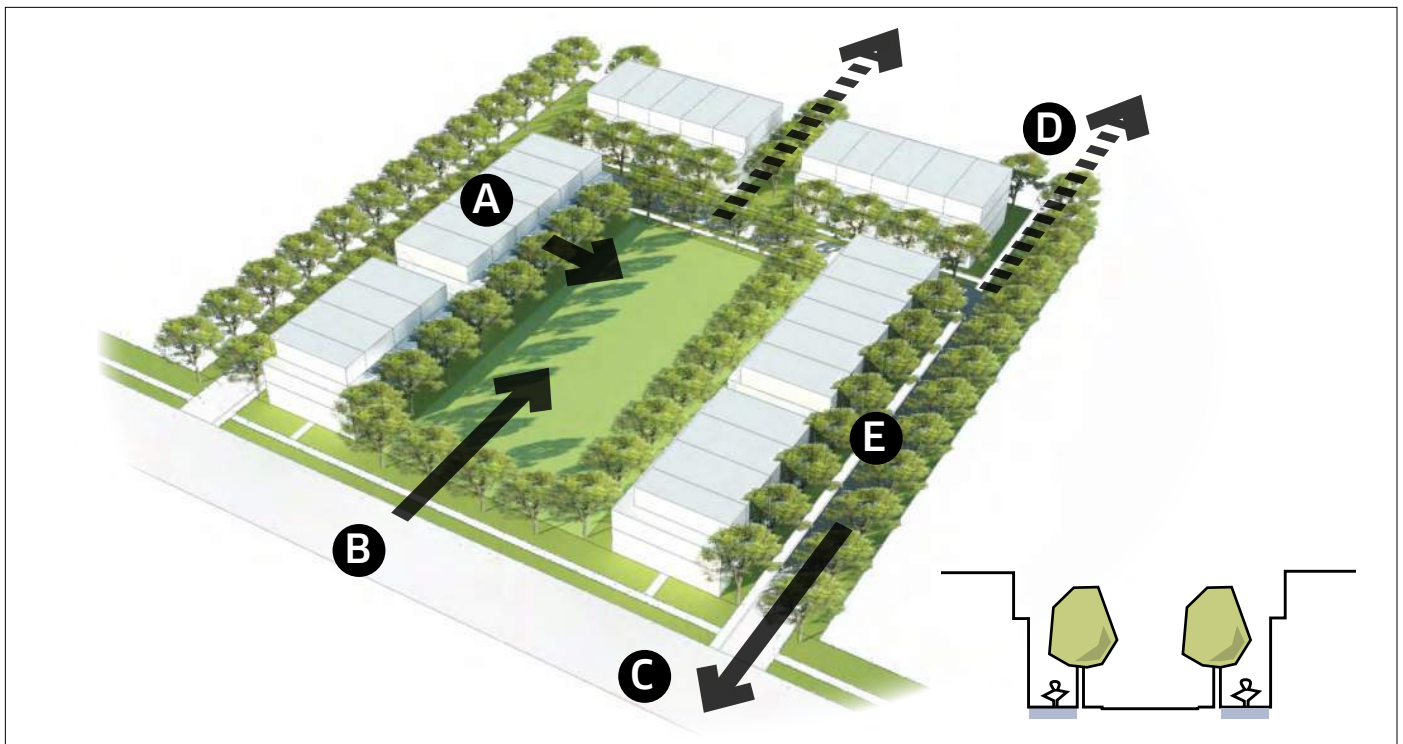
6. Design and locate public amenity open spaces so that they are visible and accessible from the street and contribute to the overall streetscape public realm space.
7. Frame and celebrate visual connections to open spaces, to the street, buildings, and pathways as landmarks and gateway features.
8. Align or locate art or landscape features as visual wayfinding mechanisms.
9. Design both public and private streets so that they are safe, welcoming, and accessible, and contribute to the beautification of the area.
10. Both public and private streets should be designed with street trees, pedestrian sidewalks, and lighting.



DEMONSTRATION OF GUIDELINE 3A:

A permeable and connected block design.

- A. Positive relationship between townhouses and open space.
- B. Direct visual and physical connection from the street to the open space.
- C. Connected street/lane and pedestrian circulation (dead-ends avoided).
- D. Connection to trails and parks beyond site boundary.
- E. All internal streets (or lanes that function as pedestrian streets) are to be designed as pedestrian friendly, streetscaped connections with sidewalks and street trees.



Enhanced internal sidewalks and streets that look and feel like they are part of the public realm



Create block permeability with welcoming and attractive mid-block connections

3B. INCREASING DENSITY ON A SITE WHILE MAINTAINING THE CHARACTER OF PLACE

1. Any new development must first consider the distinct features of the Heritage Character Area that it resides in and the existing contribution of the site to the Heritage Character Area. Distinct features can include:
 - deep front and side-yard setbacks,
 - significant forest setting with mature trees,
 - rolling topography
 - views to significant open spaces
2. Protect any contributing heritage structure on a property such as a heritage building, or structure such as a barn, or bridge.
3. Protect any contributing cultural heritage landscape such as a mature stand of trees, Regionally Significant Forests, a water body, and environmentally significant areas. Refer to Section 6.0 for Contributing Cultural Heritage Landscapes and Features. Refer to the City of Vaughan Public and Private Property Tree Protection By-laws.
4. Open spaces and landscape assets on a property is deemed contributing if they define what is distinct to a Character Area, even if the property is not within the HCD boundary.
5. Removal of single stand-alone mature trees may be negotiated if they are deemed to have no heritage relevance, if they do not contribute to the character of the area, if they are not in a healthy state, and/or if they do not contribute to the greater tree canopy or forested area.
6. All heritage contributing buildings, structures and landscapes must remain in situ and should not be moved out of context to accommodate new development.
7. New buildings should be integrated in the landscape and not dominate the landscape or adjacent properties.
8. The location of parking, passenger pick-up, loading, and servicing access and egress should be discretely located within the site and/or be integrated within the structure of the building.
9. Review the City of Vaughan Private Property Tree Protection By-Law in regards to requirements for the reduction or removal of trees.



Heritage landscapes on properties contribute to defining the layout of new development and contribute to increasing the value of the property (Woodbridge)

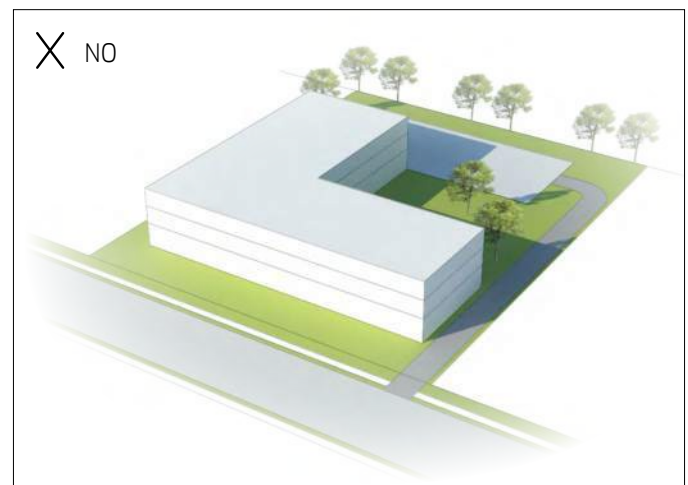
DEMONSTRATION OF GUIDELINE 3B:

Increasing density on a site while maintaining the character of place.

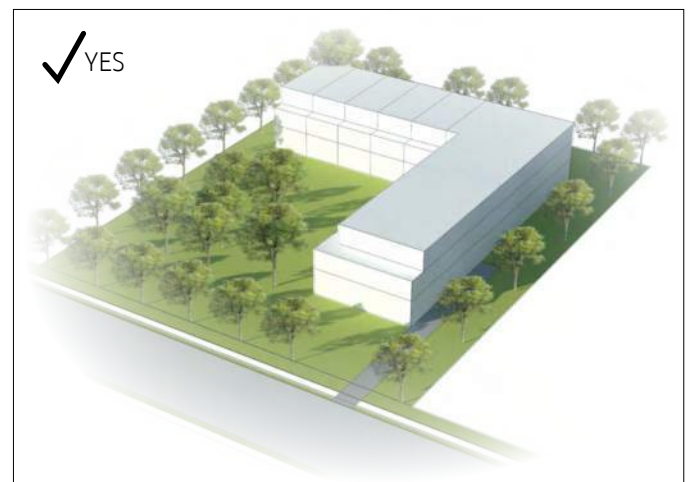
- Properties are defined by a mature contributing forest, deep front setbacks and side yards that define the Character Area.
- Development should occur primarily in the area of existing buildings.
- The existing forest landscape in the front of the property should be conserved.
- Stand alone mature trees in the developable area of the site can be considered for removal and compensated for in a manner that enhances the existing landscape.



Proposed building reflects allowable setbacks defined in the current zoning by-law. Existing mature forest is removed to accommodate new development. The resultant development massing and layout changes the character of the site and the conditions that makes the property, Character Area, and District distinct.



The development massing and layout maintains the character of the site and the assets that make the Character Area distinct. The massing and layout conserves the existing mature forest which can contribute to the site's private amenity space and property value. The building does not dominate the landscape. Parking access and servicing is discretely located at the rear and internal to the building.

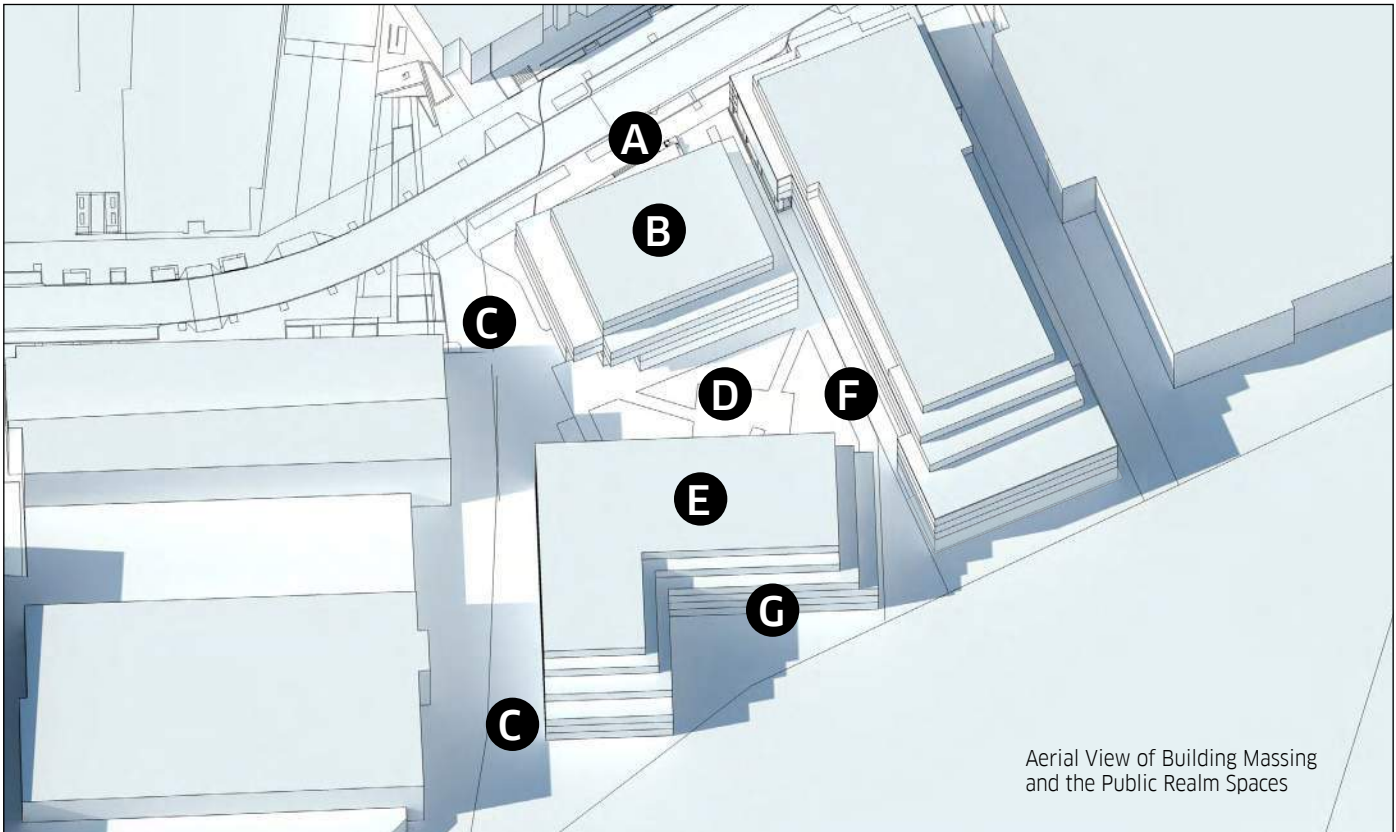


DEMONSTRATION OF GUIDELINE 3A & B:

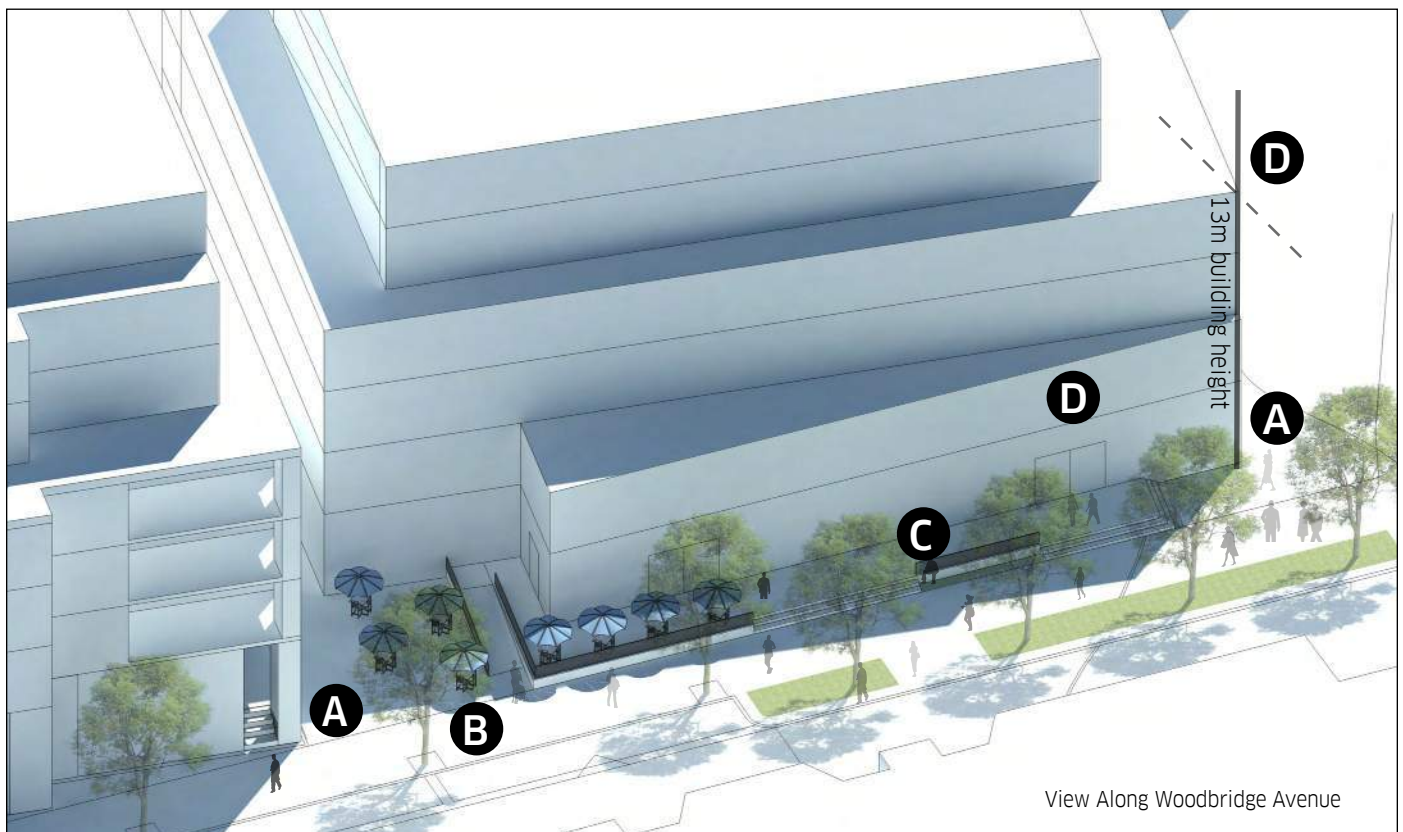
Block and parcel design along Woodbridge Avenue.

This demonstration includes the proposed 3m maximum building setback along Woodbridge Avenue; height, step-backs, and angle plane application; mid-block linkages and block

permeability; private open spaces; preservation of cultural heritage landscapes; enhancement of heritage view corridors; and transitions to adjacent development. The illustrations provide an aerial view of the overall site as well as the interface to Woodbridge Avenue.



- A.** 3m building setback to allow for an expanded streetscape and private plaza space, and management of the SPA Flood Zone above grade building entry (see Section 4.0).
- B.** Six-storey building fronting Woodbridge Avenue, with a two storey podium and terrace step-backs at four and six storeys within the 13m height angle plane.
- C.** Pedestrian accessible enhanced joint service and parking entryway and corridor, and west mid-block link to the river valley.
- D.** Internal private courtyard space to create more block permeability, landscape enhancements, accessibility to the river and the Avenue, and increased building views to the open space (to street, courtyard, and river valley).
- E.** Six-storey building with a frontage to the river valley and park, oriented to protect the existing forested cultural heritage landscape. The maximum allowable six storey building height could be considered for this building because of its rear location (assuming a terraced design to the courtyard and river valley). Section 37 opportunities could apply.
- F.** Easterly mid-block pedestrian link between Woodbridge Avenue and the river valley and park. Allows for an improved transition and condition to adjacent building's side entries and units.
- G.** Sun shading mechanisms should be considered for south-facing façades of buildings.



- A.** Pedestrian linkage and view corridor to the river valley from Woodbridge Avenue.
- B.** New publicly accessible Plaza and ramp access to the raised promenade space, seating and landscaping.
- C.** Open upper level promenade and café spill-over space with integrated stairs and seating.
- D.** Two-storey podium and angle plane step-back of the upper building levels. Building terracing to allow for more sun penetration on the promenade and streetscape.

OPEN SPACE GUIDELINES

4.0 STREETScape INTERFACE

The design, use and animation of the ground level of buildings are significant in defining the character and experience of the street as a welcoming, accessible, and safe pedestrian environment. The following existing streetscape interface conditions have to do primarily with the elevated commercial interface along Woodbridge Avenue due to rolling topography and the elevated commercial interface (along the Avenue) in the SPA flood zones. It includes areas along the street where the changing typography results in unsightly steps, ramps, retaining walls, and railings at main entrances to buildings, and where commercial or residential entrances are at a raised level.

EXISTING POLICY REFERENCES

HCD

- Urban Design: Section 6.7

WSP

- Streetscape Design: Section 3.7.2
- Land Use Policies: Section 4.1.2
- Special Policy Area Policies: Section 7.3

KOPA

- Streetscape Master Plan: Appendix B
- Development Principles & Objectives: Section 2.4

FAS

- Special Policy Area Policies: Section 4.4.2
- Special Policy Area Technical Review: Section 7.2

GUIDELINES RELATE TO THE FOLLOWING CHARACTER AREAS:

1

CENTRAL WOODBRIDGE

Accessibility for Ontarians with Disabilities Act (AODA)

To satisfy AODA accessibility standards, entrances to buildings must have a flush condition between the sidewalk and the ground floor. The following guidelines focus on solutions to mitigate the grade change by making it part of the overall streetscape design. Stairs and ramps are integrated in the sidewalk design. Retaining walls are transformed into sitting edges that contribute to the overall street furnishing. Design solutions are purposely considered and are not part of an afterthought in addressing the issue. To enable this, a more generous building setback of 3.0m maximum is recommended for Woodbridge Avenue, in this document.

SPA Flood Zone

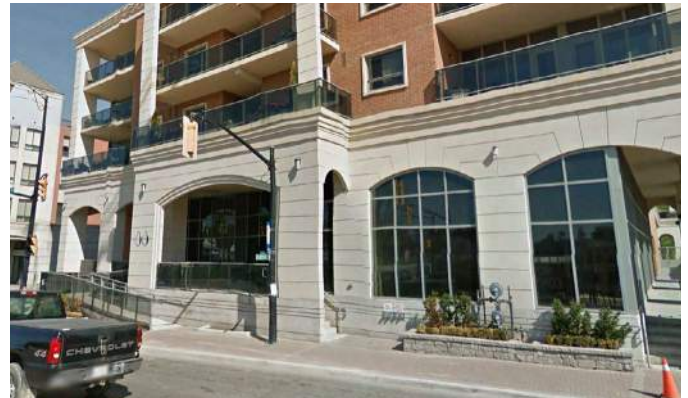
In order to prevent flooding in areas that have been designated as flood zones in the Special Policy Areas, building entrances are required to be elevated from the ground level. However, this presents a challenge to the design of accessible and transparent entry sequences from street to building front doors. A combination of stairs and ramps therefore need to be incorporated within the Woodbridge street boulevard and pedestrian walking zone.

Building Setback

The current building setback policies for Woodbridge Avenue is 0m. The Guidelines recommend a revision to the current setback policy to allow for a deeper setback condition to 3m maximum, which allows for better integration of ramps, stairs, and railings while allowing for continuous and uninhibited circulation along the sidewalk at grade. It also allows for the creation of usable, welcoming public realm space, such as outdoor cafés, at the elevated level.



Elevated commercial interface along a hill incline (165 Woodbridge Avenue)



Elevated commercial interface in the SPA Flood Zone (83 Woodbridge Avenue)

ILLUSTRATIVE GUIDELINES

4A. ELEVATED COMMERCIAL INTERFACE RESULTING FROM ROLLING TYPOLOGY (WOODBIDGE AVENUE)

1. All at-grade entrances (whether commercial or residential) must be barrier free (universally accessible).
2. For any new building, mitigation of a grade change should be part of the building design and not impede on the pedestrian circulation within the street right-of-way.
3. Where a change in grade occurs from the sidewalk to the finished floor of a building (at the entrance), the change in grade can either be addressed internally to the building or externally as part of the streetscape design.
4. Where a building setback is greater than 2m, the mitigation of a grade change with steps and ramps should occur within the building setback and not within the street right-of-way.
5. Grade changes should be addressed by providing design solutions which can utilize a combination of both stairs and gently sloped ramps.
6. The slope of a ramp/walkway can be no more than 4%. Stairs risers should be less than 7 inches in height.
7. In an existing condition where the grade change cannot be addressed within the building setback, opportunities to increase the boulevard should be explored, such as creating curb extensions to the sidewalk to gain additional circulation space within the public realm.
8. Where the grade change has to be addressed for more than one entrance in a row, (the length of a block for example), a consolidated and unified design solution should be applied. See Demonstration #1-3 on the following pages. The style of railings, ramps and stairs should also be consistent and in keeping with the character and style of the overall streetscape design.
9. Multiple points of access should be provided along the elevated walkway. Dead-end points of circulation should be avoided.
10. The design of both stairs and sloped walkways should be sympathetic to existing architecture.

11. The use of retaining walls should be avoided, however, if necessary, should be no more than 600mm in height and 300-450 in depth, and be designed as an integrated part of the streetscape and street furnishing. The retaining wall can function as a sitting wall, landscape planter, or decorative art feature.
12. The materials used for a sitting wall should be of high quality materials, in keeping with the Vision for the street. Materials can include stone, cast in place concrete with wood, or other materials that will enhance the quality and character of the street.
13. The walking zone or pedestrian pathway should be a minimum 1.5m width and usually where there are constraints within the right-of-way. Otherwise, a minimum 2m width is preferred to allow for comfortable pedestrian circulation.



Dead-end conditions to an elevated walkway should be avoided (155 Woodbridge Avenue)

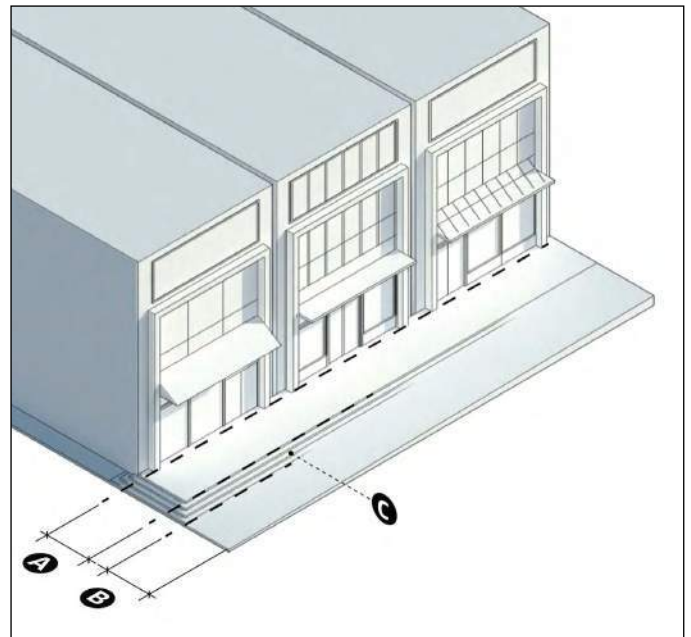


Quality, innovative design solutions to accommodate grade changes - combined ramp and stair (Director Park, Portland Oregon: Wikimedia Commons)

DEMONSTRATION OF GUIDELINE 4A (1 OF 3):

Addressing grade changes in a condition with multiple entrances in a row with ramps and stairs.

- A. Walking zone flush with elevated grade at building entrances - minimum 1.5m in width.
- B. Walking zone at grade level - minimum 1.5m sidewalk width where there are space constraints within the ROW. A 2.0m sidewalk width is preferred where the boulevard width allows. The walking zone continues as part of the general sidewalk condition.
- C. Combined stair and ramp solution with ramp access at one end and a stair access at the other end.

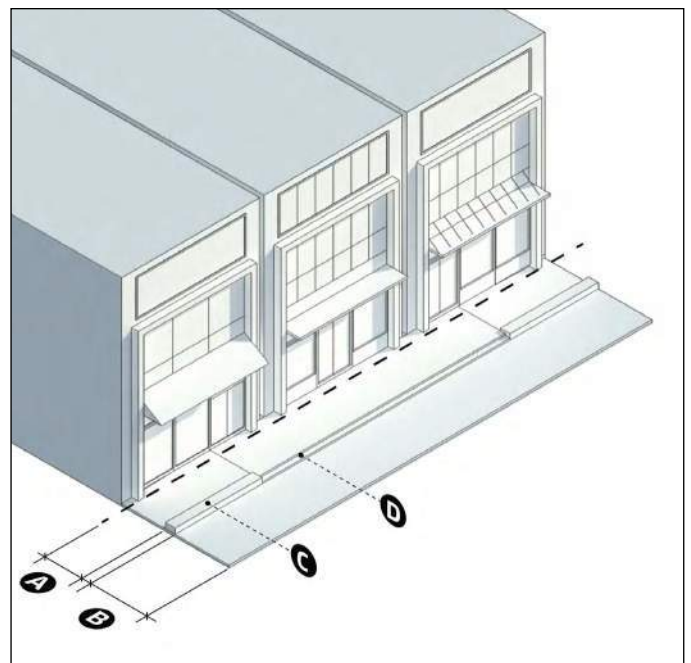


Demonstration 1: Stair and Ramp Design

DEMONSTRATION OF GUIDELINE 4A (2 OF 3):

Addressing grade changes in a condition with multiple entrances in a row with stairs and sitting wall.

- A. Walking zone flush with elevated grade at building entrances - minimum 1.5m in width.
- B. Walking zone at grade level - minimum 1.5m sidewalk width where there are space constraints within the ROW. A 2.0m sidewalk width is preferred where the boulevard width allows. The walking zone continues as part of the general sidewalk condition.
- C. Retaining wall functioning as a sitting wall to define the ramp access at each end.
- D. Stairs as central feature to the elevated grade.

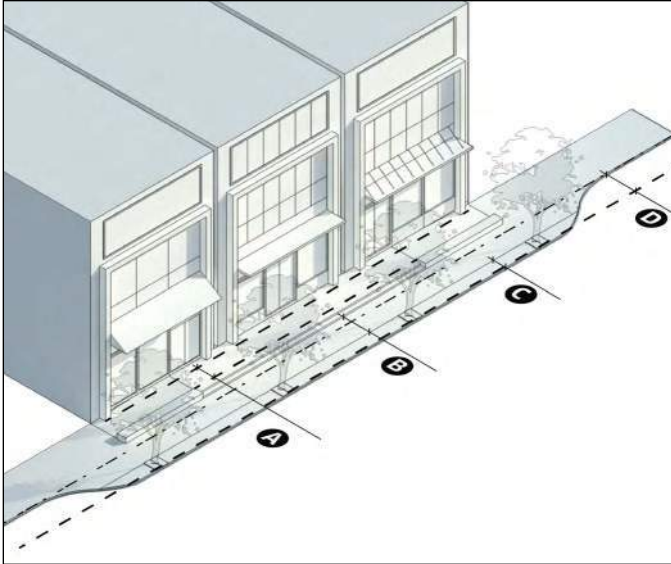


Demonstration 2: Stair and Sitting Wall Design

DEMONSTRATION OF GUIDELINE 4A (3 OF 3):

Removal of on-street parking spots to address grade changes in an existing zero setback condition.

- On-street parking spots are removed to allow for an increase in width to accommodate pedestrian circulation at-grade and at an elevated grade, as well as a furnishing and planting zone.
 - This scenario reflects an integrated design solution to address at-grade changes for multiple building entrances in a row.
 - A minimum 1.5m sidewalk is provided for both pedestrian walking zones. Multiple paths increase the circulation routes fronting the buildings.
 - A combination of ramps, stairs and low retaining walls are shown. The retaining walls function as furnishing for seating. The Ramps at either end allow for access at either end of the grade change.
- A.** Walking zone flush with an elevated grade at building entrances - minimum 1.5m in width
 - B.** Walking zone at grade level - minimum 1.5m sidewalk width where there are space constraints within the ROW.
 - C.** Furnishing and planting zone.
 - D.** Increased area by removal of parking spots and introduction of bump-outs. On-street parking width added to the sidewalk and furnishing zone.



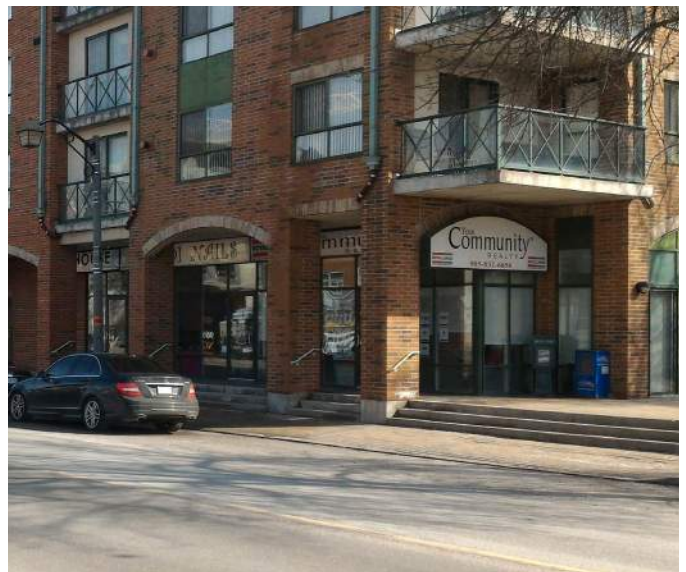
Demonstration 3: Expanded sidewalk to address the grade change and accommodate a wider pedestrian walking zone



Integrated sitting wall and planters (Fort York Boulevard, Toronto)

4B. ELEVATED COMMERCIAL INTERFACE IN THE SPA FLOOD ZONES (WOODBIDGE AVENUE)

1. All guidelines for the Elevated Commercial Interface for Woodbridge Avenue apply to this section.
2. All ramps and stairs for circulation and access to the elevated ground level entrances of a building cannot be within the road right-of-way. The mitigation of grade changes must be addressed on site. A recommended maximum setback of 3.0m will allow for the integration of stairs and ramps within the site's boundaries.
3. The spaces created to address elevated access and egress from a building should be designed so that access is clear and intuitive, welcoming, and reflect quality design. These spaces should be considered part of the streetscape, as an elevated pedestrian promenade, and should be a bright, friendly, inviting and welcoming part of the public realm.
4. Entrances should be clearly articulated, open, and visible from the street. Dark recessed areas with low overhangs should be avoided.
5. The use of colonnades can create cavernous like exterior spaces and should be avoided. If the design calls for colonnades, the ceiling should be a minimum of 4.5m in height from the elevated grade to the ceiling to allow for light penetration and clear visibility into the elevated spaces.
6. Materials for paving, stairs, retaining walls should be light in colour to brighten deep setbacks of commercial frontages and should look like a continuous part of the streetscape.
7. Buildings should be terraced in design to allow for daylighting of the ground floor spaces. The second floor of a building should step-back 1.5m - 3m to allow for light penetration on the first level.
8. Animated retail/commercial uses such as restaurants, cafés, coffee shops should be encouraged on the elevated main floor of mixed-use buildings.
9. Other uses such as gyms and libraries are encouraged, where the social spaces and pedestrian activity spaces are visible from the street.
10. Where highly animated uses cannot be provided on the elevated main floor, the public space fronting the building should be generous and function as an inviting pedestrian promenade or linear parkette that is bright, open, animated, and integrated with the streetscape in terms of look and materiality. Landscaping and seating should be provided to create a welcoming environment for seating and lingering.
11. Innovative approaches to ramp and stair design are encouraged, and where seating at the lower level can be integrated.
12. Continuous retaining walls and railings are discouraged, but if necessary, should be interrupted by multiple access points and should be highly transparent. The integration of landscaping and planting should be integrated in the design of retaining walls to create a green interface to the sidewalk.

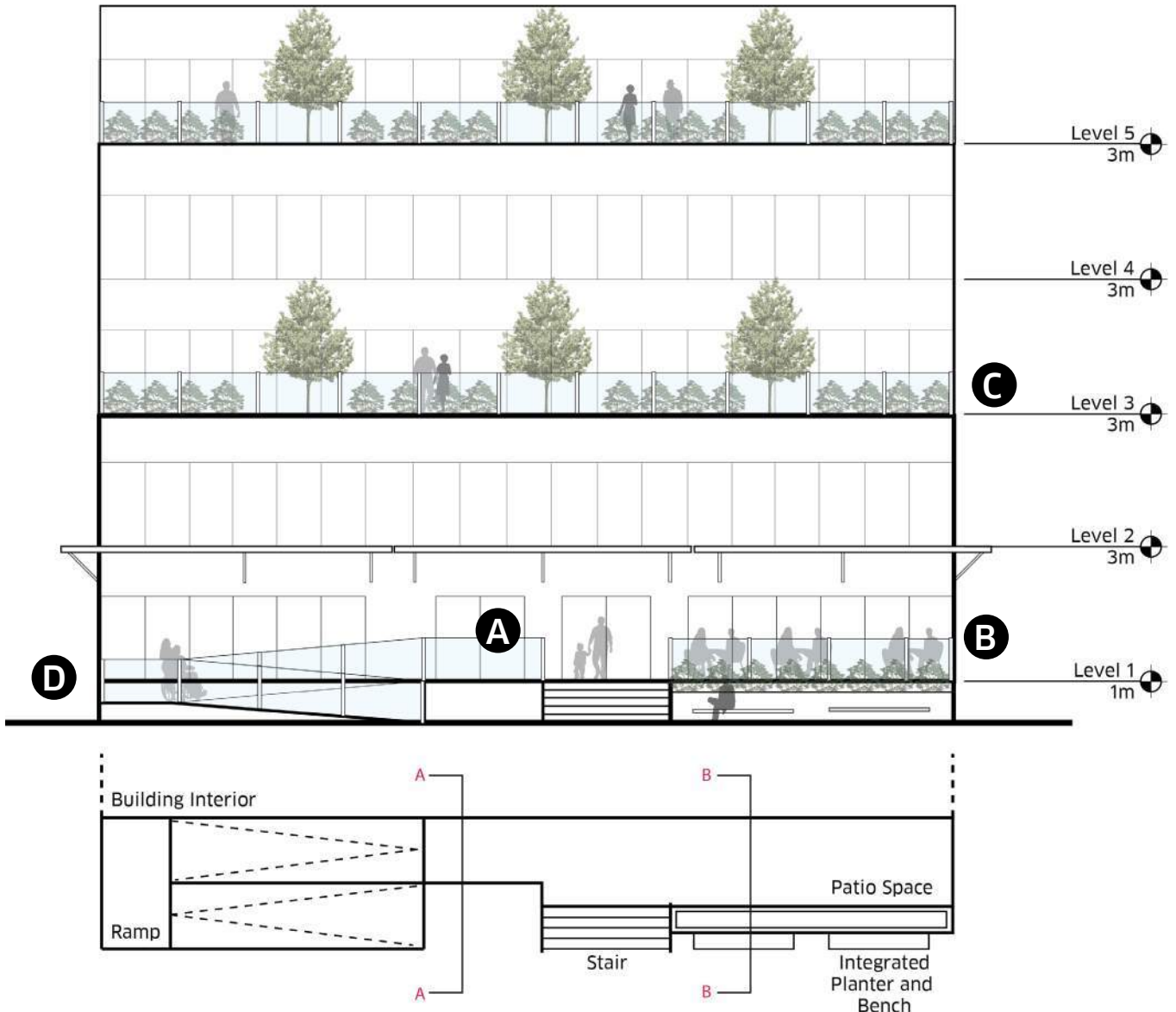


Low colonnades should be avoided as they create deep, cavernous, and unwelcoming spaces (108-124 Woodbridge Avenue)

DEMONSTRATION OF GUIDELINE 4B:

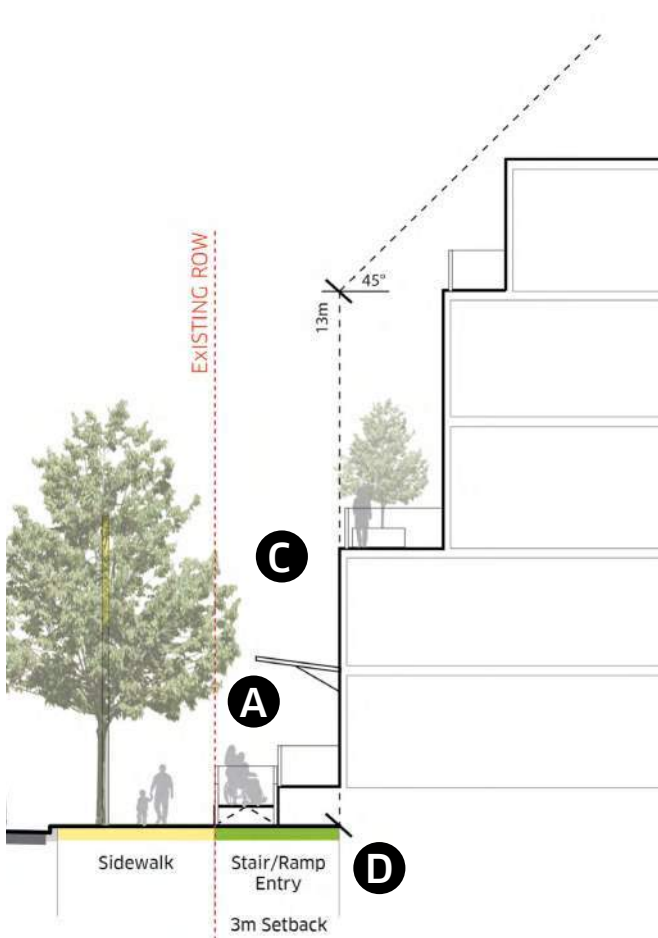
Elevated grade level promenade.

- A. Open and transparent upper level promenade to the street illustrating ramp access.
- B. Opportunity to animate upper level with café space and front seating, and landscape beautification.
- C. Two storey podium and building step-back after second storey preferred to maximize sun exposure on the open space.
- D. 3m building setback to provide flexibility in accommodating stair and ramp access.
- E. Allowable four storey podium and building step-back after four storeys (13m height angle plane restriction) allows for increased sun exposure on the open space but does not maximize on sun exposure as in Section AA.

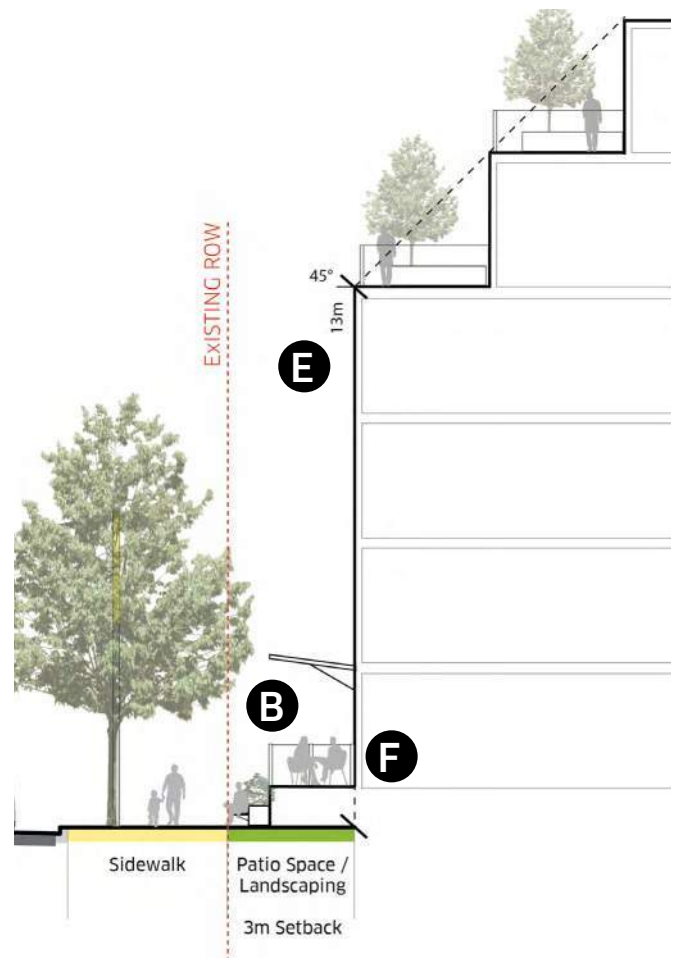


Elevation and Elevated Level Plan: Elevated Promenade with Railings and stair access

- F. Quality materials such as glass and steel used for railings to create a more transparent relationship to the street. Materials must be in keeping with the contemporary design vision of the streetscape plan.



Section AA: Elevated grade level illustrating front ramp access.



Section BB: Elevated grade level illustrating integrated seating and landscaping.

EXAMPLE 1:

Elevated promenade with Railings and stair access.



Treat the elevated level as an inviting pedestrian promenade that is bright, open, and can accommodate pedestrian activity such as walking, sitting and lingering. (Commercial Street, Vancouver)

EXAMPLE 2:

Elevated promenade with stair and ramp access.



Elevated areas should be open with innovative design that integrates the elevated areas with the streetscape. (Director Park, Portland Oregon: Wikimedia Commons)

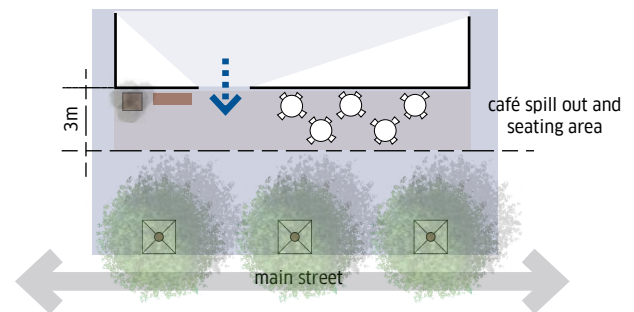
4C. 3M MAXIMUM BUILDING SETBACK ALONG WOODBRIDGE AVENUE

The current policy setback along Woodbridge Avenue is 0m which is reflective of the traditional heritage setback along the street. The consideration to increase the setback to a 3m maximum is part of the City's streetscape improvement initiative to increase the public realm space and streetscaping along the corridor, which is currently constrained by a narrow existing right-of-way. Other factors include the elevated ground floor uses of buildings within the SPA Flood Zone and other areas along the street where the 0m setback limits the ability to manage the integration of access ramps and stairs. Specifically, the recommendation for a more generous setback along Woodbridge Avenue are to:

1. Allow for the proper mitigation of grade changes within a property boundary in order to access ground level uses that are elevated from the sidewalk.
2. Enable clear and uninhibited circulation along the sidewalks within the road right-of-way.
3. Create garden spaces fronting residential uses to create more privacy from the avenue.
4. Create more generous public realm space.
5. Allow for retail café spill-over space to animate the avenue.
6. Provide the opportunity for more landscaping of the corridor.
7. Create a more pedestrian friendly and walkable environment.
8. Adhere to the building step-back policy and transition policies along Woodbridge Avenue such that higher density development does not seem so prominent along the street in the context of the lower density heritage fabric and provides a more "human scale" relationship to the street.
9. Permit only at-grade entrances to the street where it is currently possible to do so.
10. Through the redesign of the street right-of-way, reduce lane widths and provide curb extensions to expand the sidewalk width and overall public realm space.

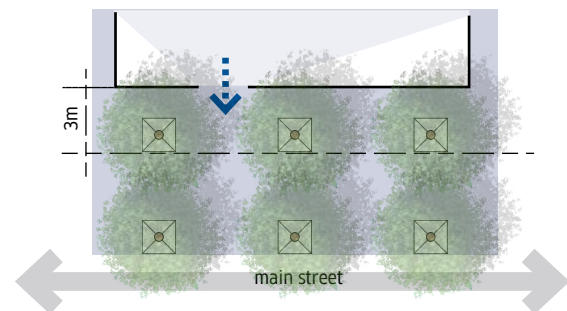
DEMONSTRATION OF GUIDELINE 4C (1 OF 3):

Additional setback space for café spill out and additional seating, or informal plaza/gathering space.



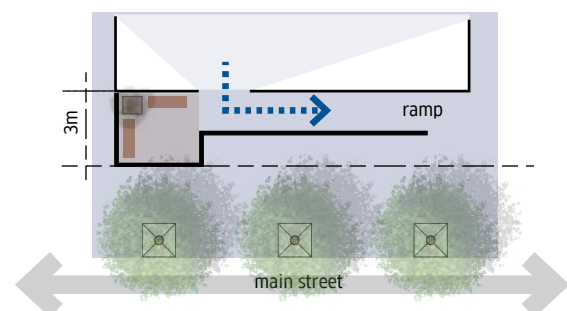
DEMONSTRATION OF GUIDELINE 4C (2 OF 3):

Additional setback space for increased landscaping to enhance the green character of Woodbridge.



DEMONSTRATION OF GUIDELINE 4C (3 OF 3):

Additional setback space to accommodate ramps and stairs where topography is a limitation, or grade elevations within SPA areas.



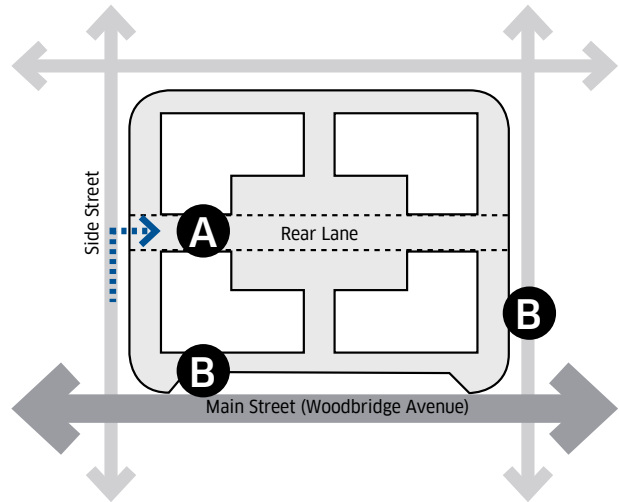
4D. SERVICING & VEHICULAR ACCESS (WOODBIDGE AVENUE)

Buildings without side or rear lane access encourages servicing of buildings to occur haphazardly along Woodbridge Avenue and often creates conflicts with pedestrian circulation along the street. Service vehicles are often parked on the curb for long periods, inhibiting pedestrian traffic. For any new development, current policy regulates that parking and servicing access/egress is to occur along side streets with an internal entryway to the underground levels of the building, or at the rear of a building via a lane. The current policy (referenced in the Woodbridge Centre Secondary Plan) prohibits front access from Woodbridge Avenue to parking and servicing access points for any new development. The following guidelines address existing conditions where servicing cannot be accommodated at the rear of buildings, as well as new development. These guidelines should be applied in conjunction with other law enforcement initiatives that regulate servicing times.

1. Provide on-street parking spaces fronting existing buildings that are without rear service access.
2. Provide on-street servicing along side streets where possible.
3. Allow servicing to occur only at regulated times (such as early morning or late evening) to minimize pedestrian circulation conflicts, and provide clear signage accordingly.
4. Consider bollards or other furnishings to discourage mounting of curbs and infringing on the public realm.
5. For any new building, servicing (and parking) entrances are to be located on the side or at the rear of a building.
6. For any new building, servicing (and parking) is to be accessed from the side of a building, to a below-grade entrance or to an internal courtyard; or at the rear of a building via a laneway.

DEMONSTRATION OF GUIDELINE 4D (1 OF 2):

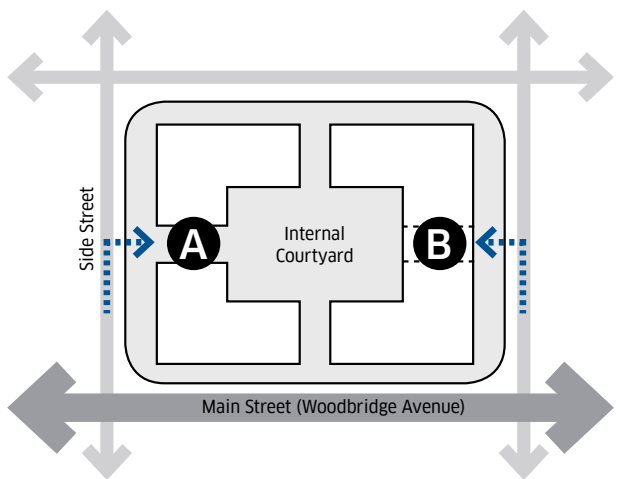
On-street or rear lane service access options.



- A. Servicing entrance from a side street to a rear lane.
- B. Servicing via on-street parking fronting the building or along a side street, at regulated times.

DEMONSTRATION OF GUIDELINE 4D (2 OF 2):

Side street or below-grade service access options.



- A. Entry from a side street to an internal courtyard.
- B. Entry to an internal below grade servicing area.

EXAMPLE 1:

Laneway service access.



Servicing (and parking) entry via a rear lane, accessed from a side street (Woodbine Neighbourhood, Toronto).

EXAMPLE 2:

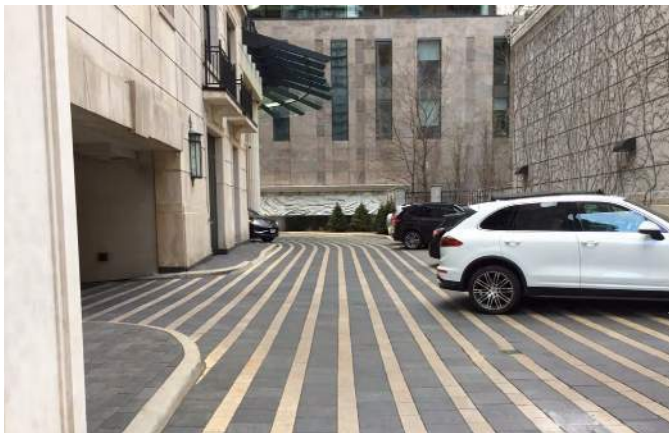
Below grade service access.



Servicing from a side street that is designed to be more aesthetically-pleasing and surreptitious. (University of Toronto, St. George Street)

EXAMPLE 3:

Internal courtyard service access.



Servicing (and parking) entry to an internal service area, accessed from a side street. (Condominium on Charles Street W, Toronto)

EXAMPLE 4:

On-street service access.



Servicing (and parking) on-street for an existing condition where servicing cannot be accommodated at the rear or side of a building. (Roncesvalles Avenue, Toronto)

5.0 PRIVATE OPEN SPACES

This section looks at the role private open spaces play in the greater cultural heritage landscape that defines Woodbridge as contributing components of the landscape system. It identifies opportunities to create new private open spaces to increase the amount of usable public realm space within the Woodbridge heritage area, and as a means of enhancing the existing open space network.

Private open spaces have the opportunity to:

- positively contribute to the public realm network,
- be better utilized by improving the design, function, programming, and access to the spaces.
- be used to connect to and expand on existing open spaces both physically and visibly.
- provide animation and places for social gathering along Woodbridge Avenue main street and reinforce active pedestrian nodes.
- add beautification to the street by providing opportunities to increase landscaping and tree planting.

Private open spaces can provide a greater level of diversity to the existing public realm context including pedestrian mid-block linkages, new piazzas and parkettes, and connecting these spaces to existing significant Cultural Heritage Landscapes such as the Fairgrounds and Market Lane.

EXISTING POLICY REFERENCES

HCD

- Open Space Framework: Section 6.6
- Urban Design: Section 6.7

WSP

- Streetscape Design: Section 3.7.2
- Street specific policies: Section 5.1
- Pedestrian Priority Nodes: Section 5.2

KOPA

- Development Principles and Objectives: Section 2.0
- Urban Design: Section 3.2
- Streetscape Master Plan Schedules: Appendix B

FAS

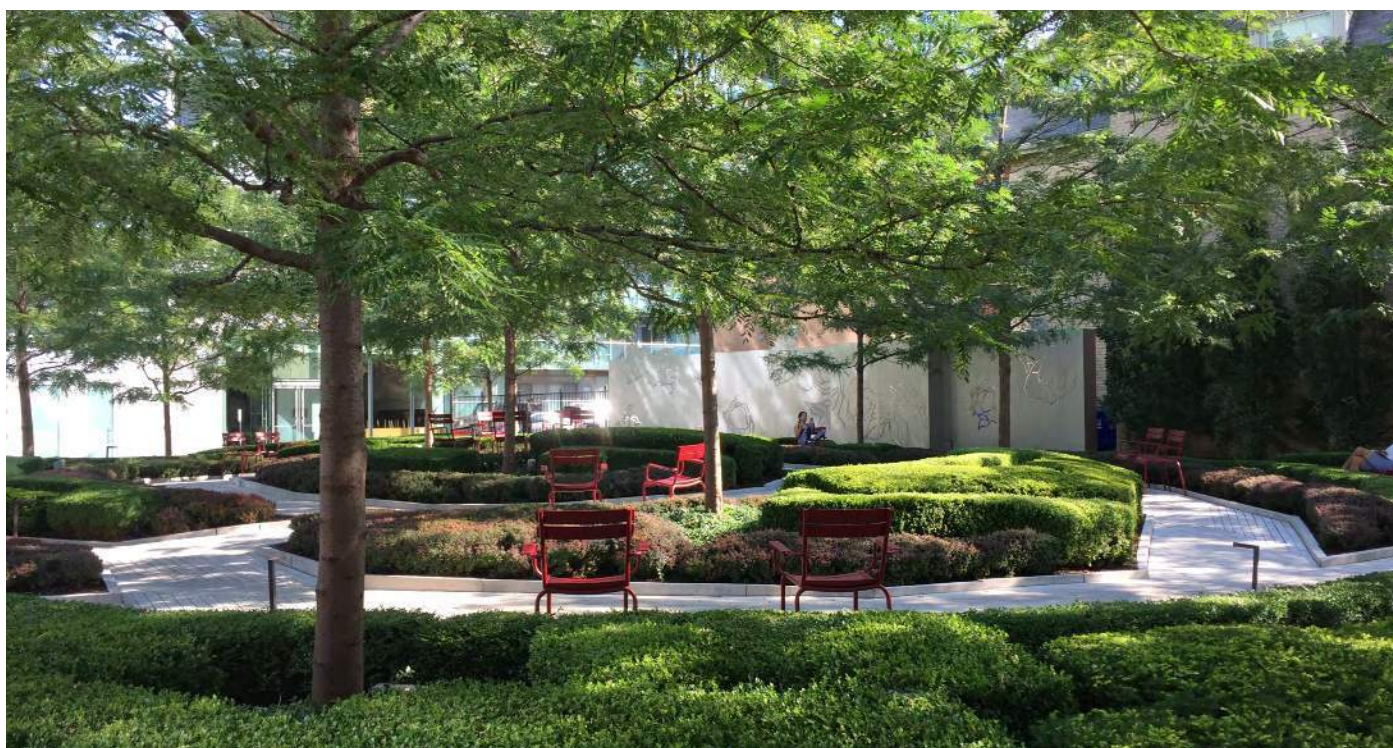
- Streetscape Design: Section 9.2
- Pedestrian Priority Nodes: Section 9.3
- Clarence Street & Woodbridge Ave: Section 9.5
- Land Use & Urban Form Policies: Section 4.1-4.2

GUIDELINES RELATE TO THE FOLLOWING CHARACTER AREAS:

1
CENTRAL WOODBRIDGE

2
KIPLING AVENUE CORRIDOR

The following guidelines are intended to demonstrate private open space opportunities that can provide attractive, connected, and animated public realm spaces. The guidelines define expectations around design and design quality, and the conservation and enhancement of heritage assets and characteristics. It explores all areas of open space, whether it be a lane, parking lot, or underutilized areas as opportunities to make these spaces contributing components to the overall public realm network.



Private open spaces can significantly contribute to the overall public realm by providing variety, diversity, and unique quality environments. (Rose Garden, Toronto Four Seasons Hotel)

Private Cultural Heritage Open Spaces

Woodbridge has some of the largest private cultural heritage open spaces in the city, including the Fairgrounds and a number of mature forests. These spaces are significant amenities in the heart of the Woodbridge Heritage District. Making these open spaces accessible and connecting them to other open spaces within the area, provides an opportunity to significantly expand the public realm and recreational opportunities for the community.

The Historic Cultural Landscapes map below indicates significant landscape heritage resources previously identified in historic municipal plans and aeriels. The Cultural Heritage Open Space Network plan on the following page identifies character-defining open spaces such as parks, private landscapes, natural areas, and regionally significant landscapes. Most of these spaces are identified in Section 4.3 Parks and Open Space Framework of the Woodbridge Centre Secondary Plan.



Rail Corridor Landscape



Topography plays a key role in defining the cultural the heritage landscape setting



Distinct deep setbacks and front gardens, and mature stands of trees and landscapes are dominant site features



Legend

- Woodbridge Area Study Boundary
- "Parks and Open Space Framework" (as per Woodbridge Focused Area Study Map 6.7)
- Cultural Landscapes Beyond Parks and Open Space Boundaries

Cultural Heritage Open Space Network, for Illustrative Purposes

ILLUSTRATIVE GUIDELINES

5A. PRIVATE CULTURAL HERITAGE OPEN SPACES

Woodbridge has some of the largest private cultural heritage open spaces in the city, including the Fairgrounds and a number of mature forests. These spaces are significant amenities in the heart of the Woodbridge Heritage District. Making these open spaces accessible and connecting them to other open spaces within the area, provides an opportunity to significantly expand the public realm and recreational opportunities for the community.

The Cultural Heritage Open Space Network plan on the following page identifies character-defining open spaces such as parks, private landscapes, natural areas, and Regionally Significant Landscapes. Most of these spaces are identified in Section 4.3 Parks and Open Space Framework of the Woodbridge Centre Secondary Plan.

The Fairgrounds

The Fairgrounds is a significant and sizeable open space asset in the heart of the Woodbridge area (see Demonstration of Guideline 5A 1). Refer to Policies within Section 4.6.1.3 of the Kipling Avenue Corridor OPA and Section 4.3.3 of the Woodbridge Centre Secondary Plan.

1. The open space should be highly visible and easy to find. Create opportunities to access the site via multiple trail and street connections.
2. Enhance existing view corridors at trail head connections so that they are visible, attractive, safe, and welcoming.
3. Formalizing and enhancing trail connections to the Fairgrounds should be a priority initiative, and should include: Woodbridge Avenue, William Street, Clarence Street, Kipling Avenue, and Meeting House Road.
4. The mid-twentieth century historical trail connection from Wallace Street to Woodbridge Avenue, to the Fairgrounds, connecting to the east side of the Fairgrounds, should be formalized and recognized accordingly with heritage information at a new trail head.
5. Encourage access and connections from private street and lanes to the Fairgrounds, where the street or lane abuts or terminates at the Fairgrounds property.



Open Forest: Formalize and enhance existing trail connection with signage and paving.



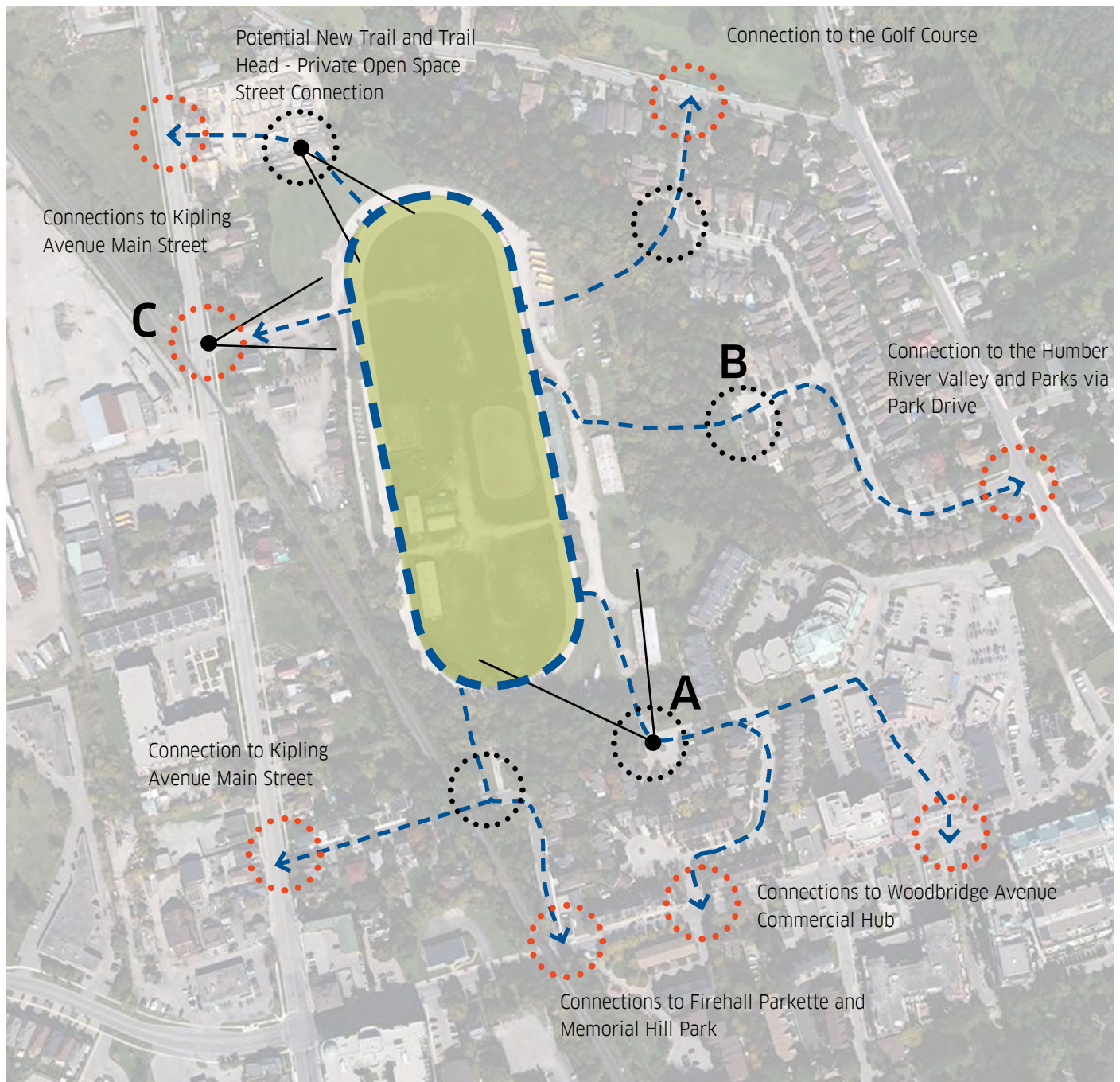
Street: Enhance existing trail connections especially at key gateways and entrances with paving, landscape beautification, street trees, sidewalks, and signage.



Enclosed Forest: Open up views to the Fairgrounds, and formalize trail connections.

DEMONSTRATION OF GUIDELINE 5A:

Fairgrounds trail connections, trailhead access points, and views.



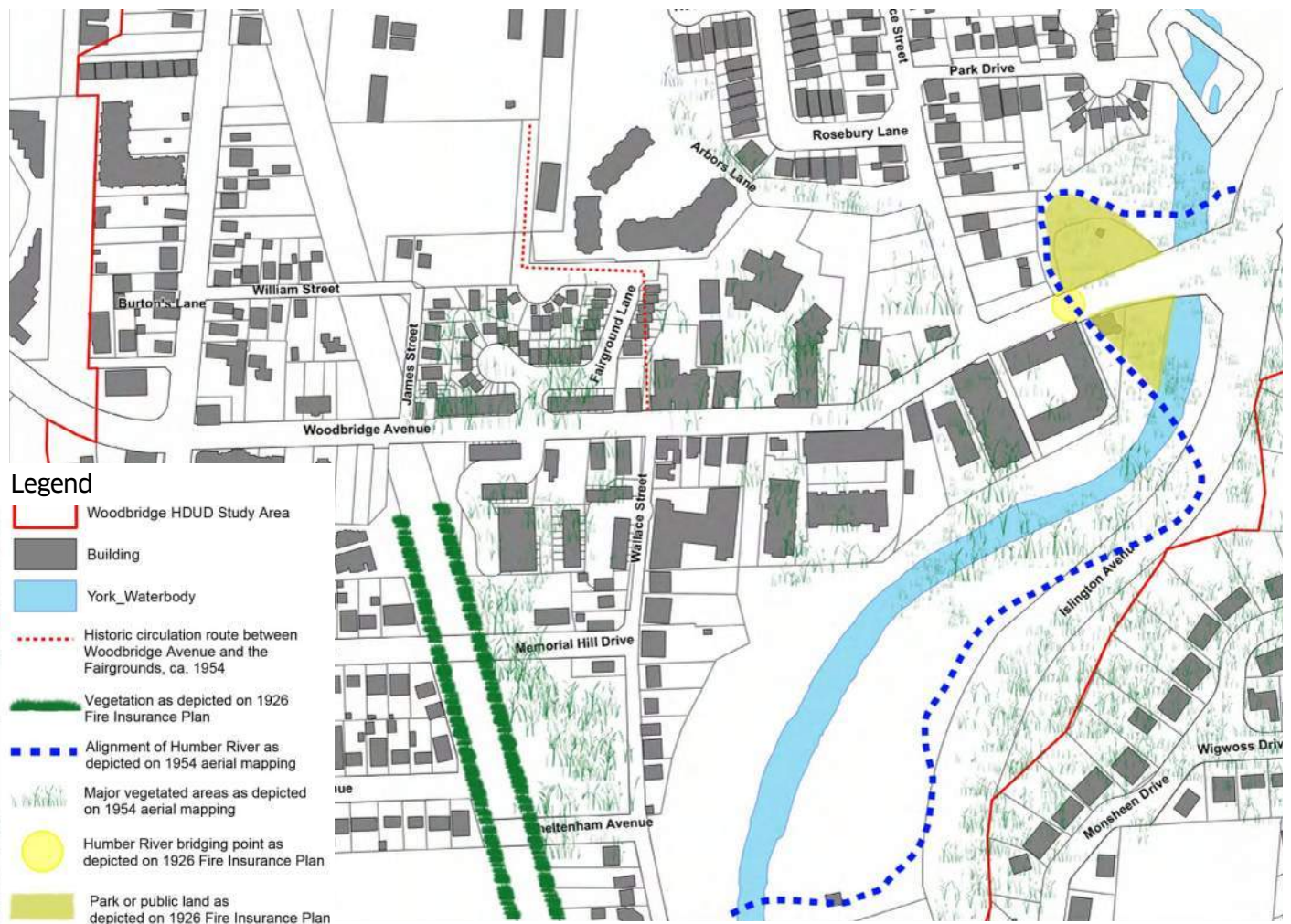
Note: New trail and trail head connections are identified on the New Trail Linkages map in Section 6.0.

Private Cultural Heritage Landscapes

Private Cultural Landscapes are significant landscape heritage resources on private lands that contribute to the overall heritage landscape system. Private cultural landscapes can include:

- topography and views
- a single significant tree and mature stands of trees
- landmark features and monuments
- distinct setbacks and front gardens
- natural features

1. Private and publicly owned cultural heritage landscapes must be protected and enhanced as they are contributing components of the overall cultural heritage landscape system.
2. Any private cultural landscape fronting Woodbridge Avenue should be used to enhance the green character of the street. Front gardens and planting of trees enhance the street canopy and beautify the streetscape.
3. Refer to Section 2.0 for Transitions to Cultural Heritage Landscapes.
4. Refer to the City of Vaughan Tree Protection By-laws for the protection of public and private trees within the city.



Approximate Location of Historic Cultural Landscape Features Overlaid on Existing Conditions, by ASI.

5B. ALTERATIONS TO PRIVATE OPEN SPACES

There are a number of existing private open spaces along Woodbridge Avenue that provide an opportunity to contribute to expanding, enhancing and animating the public realm for the District and particularly the commercial hub of the community. Some of these spaces include the Market Lane/public library frontage, the 120 Woodbridge Avenue property, and the 141 Woodbridge Avenue pedestrian way, most of which have important heritage significance. This grouping of private open spaces, together with the City owned heritage Nathaniel Wallace House (137 Woodbridge Avenue), creates a significant heritage urban node along the corridor. All of these spaces are integrated in the Woodbridge Avenue Detailed Streetscape Master Plan, Volume II and are detailed accordingly.

In the Secondary Plan, the gateway entrance to Market Lane is identified as a Pedestrian Priority node and the Market Lane is envisioned as the central open space hub for the community.

“Strengthen Market Lane as the core public amenity and community focus where pedestrians can gather for social functions and community events”.

[Woodbridge Secondary Plan Part B 2.0 (6)]

As a pedestrian priority zone, the intersection of Woodbridge Avenue and Market Lane gateway will be designed as an expanded pedestrian space, a meeting place to stop and linger. At this community hub, the Woodbridge Public Library, Wallace House and Market Lane Gateway will be provided with more generous sidewalk space and pedestrian furnishings. The street will be knitted together with a special surface treatment of the roadway for increased pedestrian safety, circulation, access, capacity and amenity (5.2/1).

[Secondary Plan References: 3.4.2, 4.13, Part B 2.0 (6), 3.0/3.1/2.0, 2.1.3, 6.2.1.]

Another private open space that can contribute to the animation of the urban node is the parkette at 120 Woodbridge Avenue. This parkette is the only Privately Owned Publicly-accessible Space (POPs) on the corridor. Allowing for additional seating on the sunny south facing side of the street can make this small space an attractive place to be.

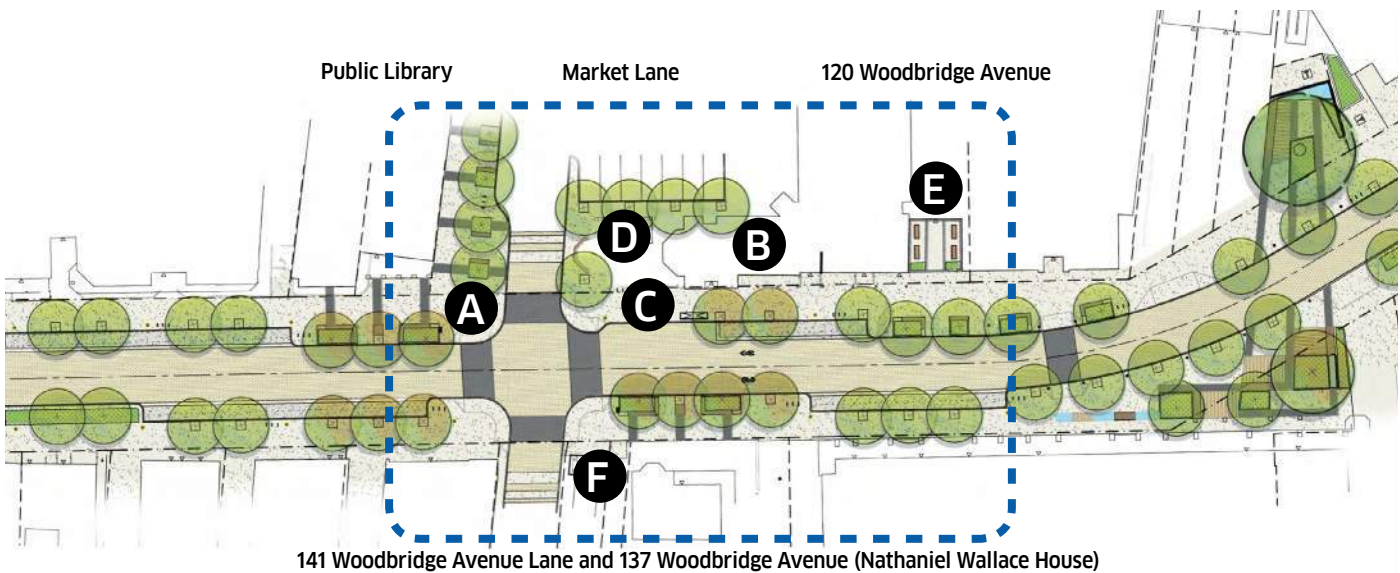
Refer to the Demonstration of Guideline 5B on the following page.

1. Private open spaces should be designed to be highly visible, welcoming and pedestrian oriented; integrate heritage commemoration; and contribute to the streetscape public realm with seating, street trees, and enhanced landscaping.
2. Reduce the dedicated right turn at the entryway to Market Lane in order to add to the public realm space adjacent to the library, and create a larger front piazza for seating and library events; and create a more generous pedestrian passageway and link to the Fairgrounds from Woodbridge Avenue.
3. Enhance the entrance to Market Lane with signage improvements and gateway and landscape treatments that are in keeping with the new Woodbridge Avenue Detailed Streetscape Master Plan.
4. Design wayfinding gateway treatments for significant places like Market Lane, in keeping with the Detailed Streetscape Master Plan and part of an overall wayfinding strategy for the area.

DEMONSTRATION OF GUIDELINE 5B:

Market Lane open space design recommendations.

- A. Expanded public realm space adjacent to the public library
- B. Enhanced landscaping and street trees to integrate with the streetscape design
- C. Removal of front fenced area of Market Lane to create a larger open piazza space integrated with the streetscape
- D. Incorporation of the commemorative plaque so that it is more visible from the street
- E. A more welcoming, open parkette for 120 Woodbridge Avenue that is integrated with the streetscape public realm spaces. This space should be open to the street and paving and seating should be in keeping with the Detailed Streetscape Design palette of materials.
- F. Integration of the 141 Woodbridge Avenue pedestrian passageway and linkage to Veteran's Park and Humber River.



Expansion of piazza and café' spill-over space



Removal of fence to better integrate with streetscape



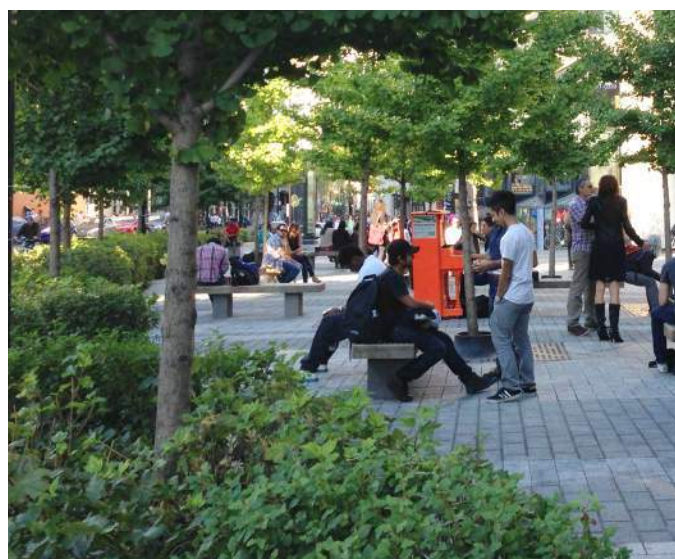
Incorporation of heritage commemorative plaque

5C. NEW PRIVATE OPEN SPACES AND LINKAGES

Open spaces provide opportunities to expand the public realm and diversify the open space system of the Woodbridge core. Spaces such as main street parkettes and piazzas, forecourts, mid-block mews connections, front gardens with seating and art are all opportunities to animate and create a vibrant, social and cultural urban context. This section looks at opportunities for new urban spaces along Woodbridge Avenue to animate the main street and central commercial hub. It also identifies linkages that increase the opportunity to access and connect the Avenue to existing open spaces, which then create a continuous and seamless pedestrian network. New open space recommendations include mid-block linkages between buildings that are enhanced to function as usable spaces to stop and linger, for café spill-over space, places for art display, and as connecting passageways to new spaces in the interior of building blocks. If designed well, these spaces can contribute to the uniqueness of Woodbridge.

Plazas/Piazzas and Parkettes

1. New development along Woodbridge Avenue should be designed with usable spaces that connect with the street.
2. Design to be welcoming to the public, visible, and physically accessible in accordance with AODA standards.
3. Integrate private landscaping and amenities into the overall streetscape design, reflecting high quality materials and furnishings complementary to the design of the street, in accordance with the 2016 Woodbridge Avenue Detailed Design Streetscape Master Plan.
4. Design to contribute to the animation of the street, with opportunities for gathering, sitting, lingering, eating, and taking in the activities of the street.
5. Design to contribute to the greening of the street by providing opportunities for additional street tree planting to increase the street canopy and provide shade and shelter.
6. Design for beautification and commemoration of the street with art, water features, enhanced paving and furnishings, and heritage interpretation.
7. Design for sustainable design measures, such as storm water management, are encouraged.
8. Provide opportunities to link to other significant open spaces such as Market Lane, and the river valley parks, or to key historic streets such Wallace Street, William Street, and Clarence Street.
9. Design piazza and gathering spaces to be primarily urban in character, and flexible in use to contribute to street animation and activity such as retail sidewalk events, outdoor café space, community street festival events.
10. Piazza spaces can be designed to create distinct destination oriented nodes and gateways along the main street, providing opportunities to integrate and celebrate heritage buildings that front the street.
11. Parkette spaces should be located in the less urban areas of the street, across from residential frontages for example, to enhance the greening of the street and to contribute to the heritage “front gardens” that are part of the street character, but still allow for sitting and more passive street activity.
12. Parkette spaces should be landscaped to beautify but not to discourage use. Hedges and tall shrubs should be discouraged adjacent to the street. The frontages of parkettes should be open, clearly visible, directly accessible from the street, and welcoming.
13. Where possible, private open space opportunities can be integrated with public open space opportunities to create more significant open space destinations. This can include municipal properties, parkland dedication sites, private adjacent landscapes, and neighbouring private landscapes.



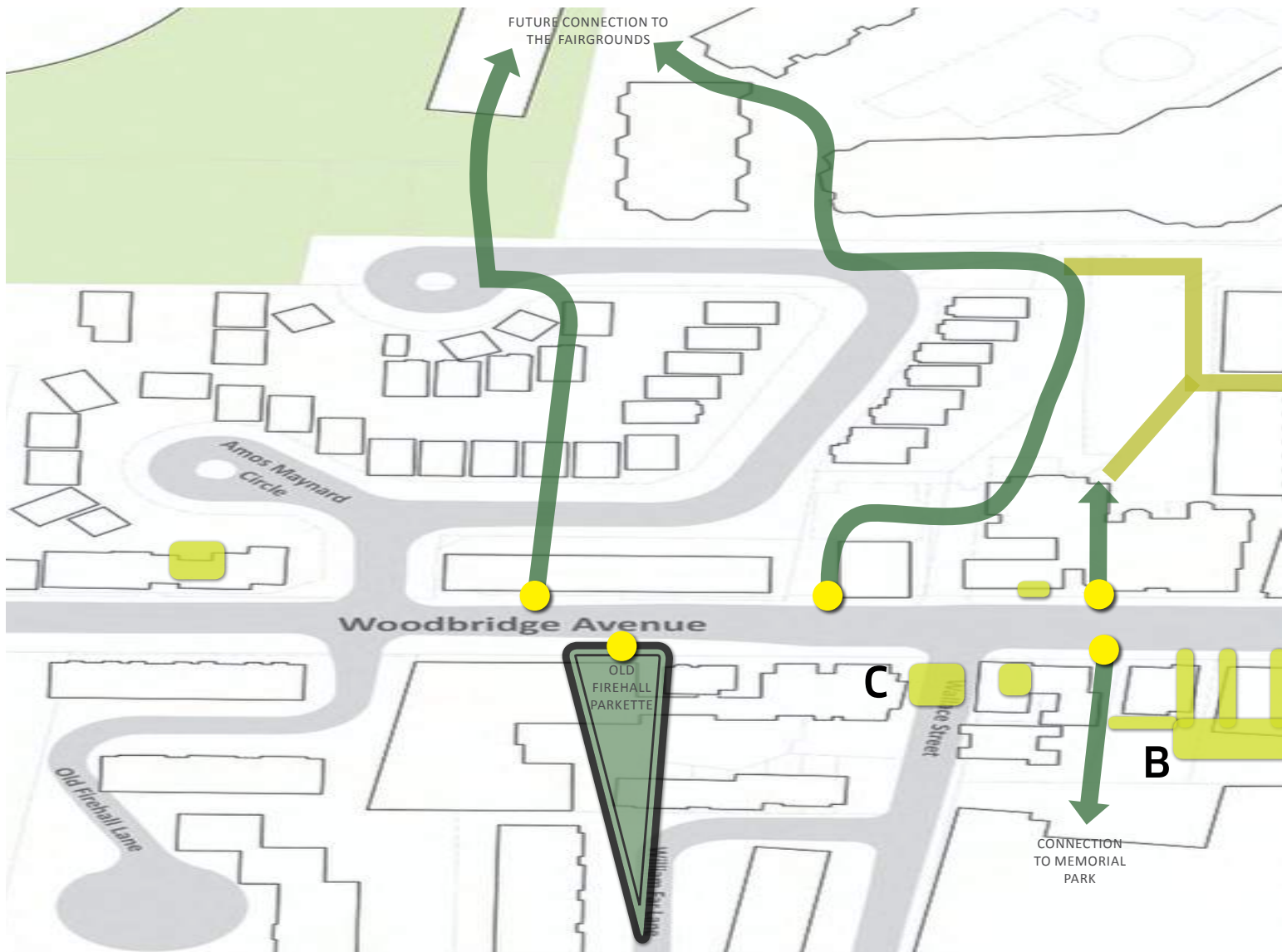
Parkette fronting the street, providing street animation (Cornell University, Montreal)

DEMONSTRATION OF GUIDELINE 5C (1 OF 3):

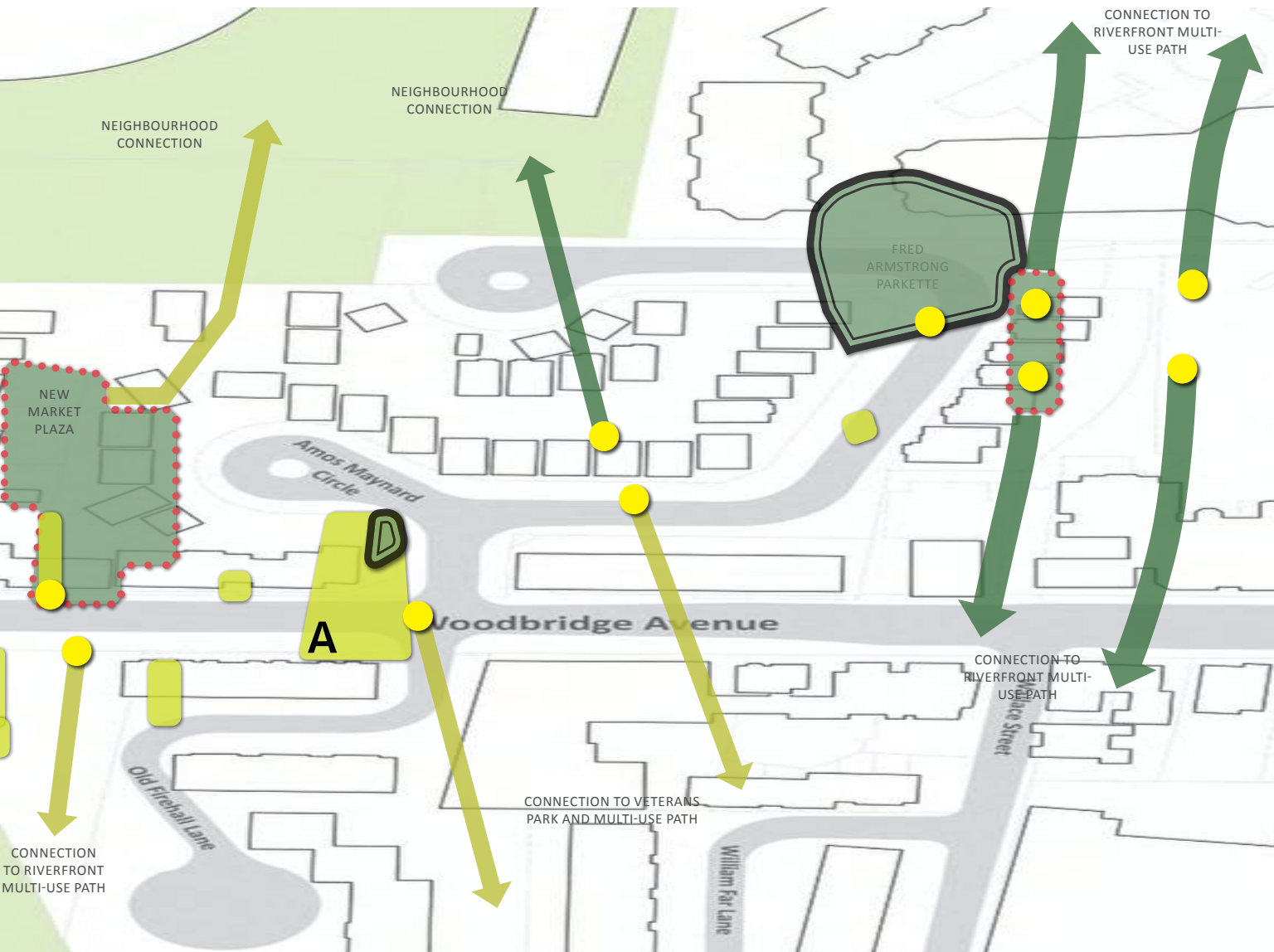
The map below indicates various new open space opportunities within private lands along Woodbridge Avenue, which will be further demonstrated in the following pages.

LEGEND

- Public Pedestrian Link
- Potential Publicly Accessible Pedestrian Link
- Existing Public Parks
- Future Public Parks
- Potential Publicly Accessible Open Space
- Connection Point to Open Space or a Trail



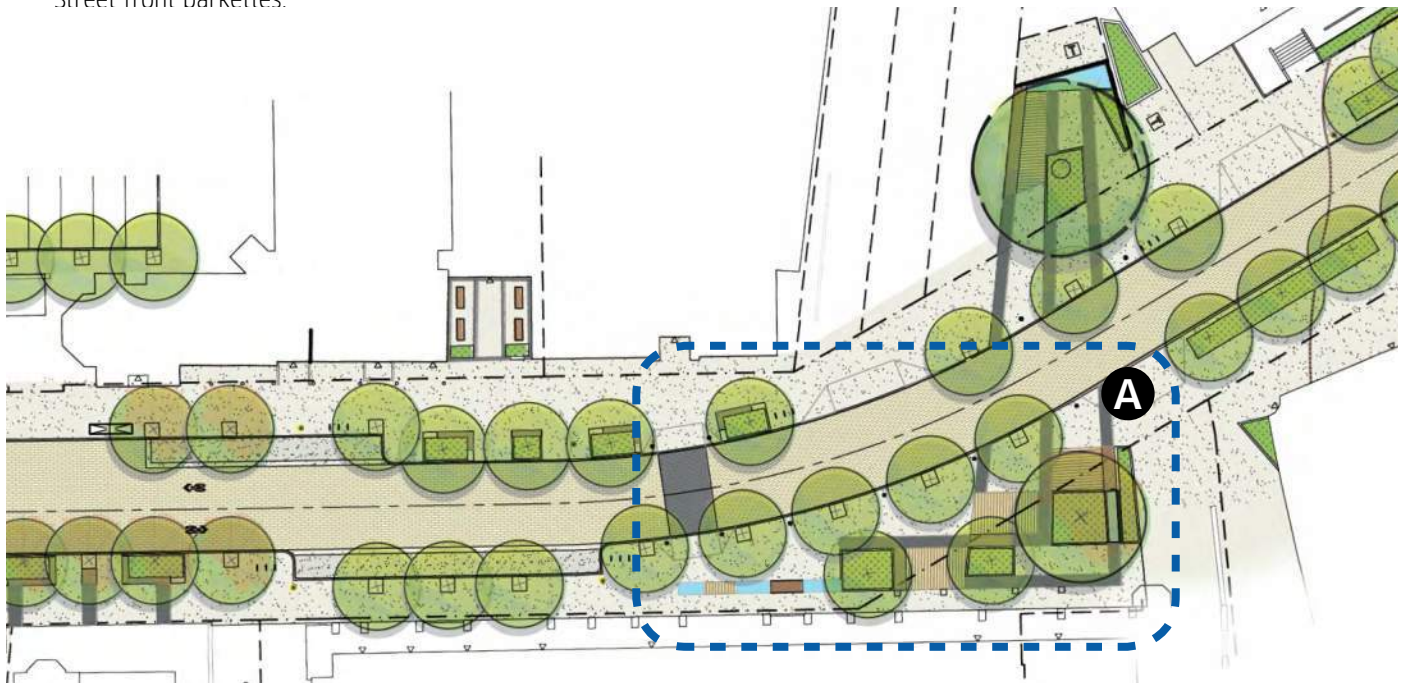
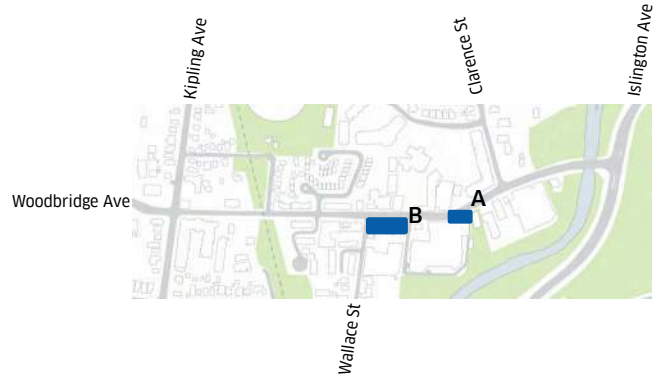
Opportunities for new Open spaces and pedestrian linkages along Woodbridge Avenue



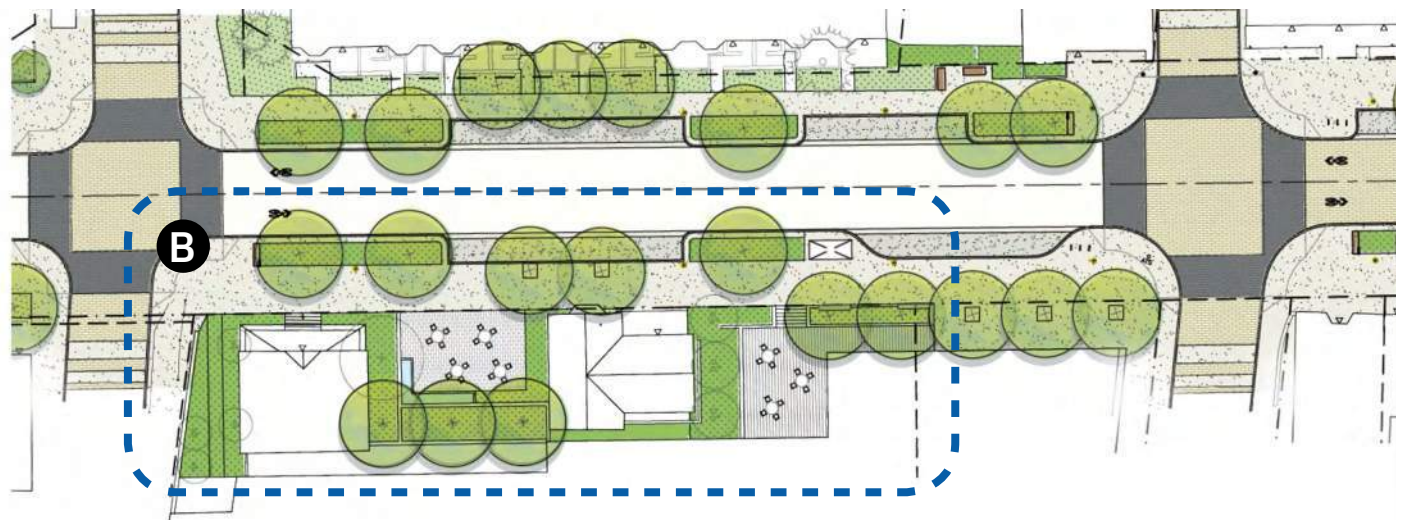
DEMONSTRATION OF GUIDELINE 5C (2 OF 3):

Opportunities for new plazas, piazzas and parkettes along Woodbridge Avenue.

- A. 131 Woodbridge Avenue front landscape as part of a larger piazza space.
- B. The development of 177, 185, 197 Woodbridge Avenue Street front parkettes.



Conceptual design for an Easterly Gateway Piazza, combining private setback with City owned land on Woodbridge Avenue (Woodbridge Avenue Detailed Streetscape Design, Volume II).



Two new parkettes are proposed as part of a new development fronting Woodbridge Avenue (the westerly parkette is a POP). Both sites provide opportunities to animate and engage the street with new places to sit, eat, and linger and enjoy beautiful landscaping, art, and water features.

Pedestrian Linkages

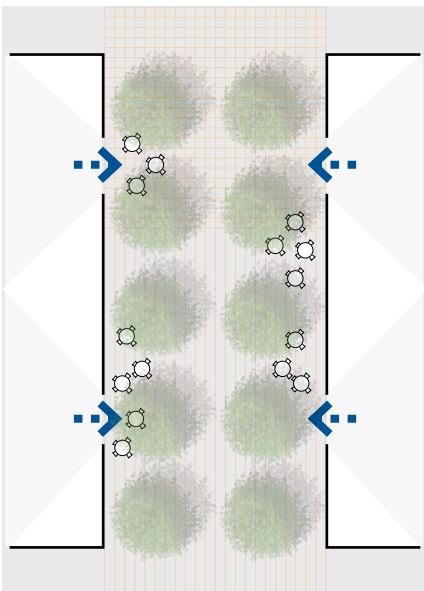
Historically, residential and commercial structures along Woodbridge Avenue in the 1920s had generous side yard setbacks between structures. These spaces between buildings along Woodbridge Avenue still exist today and are currently being used as parking or servicing access routes. As the Woodbridge Avenue Streetscape Master Plan unfolds, and as new development occurs, some of these access points will be closed over time. The current policies call for side or rear access to parking which means some of these connections can function as contributing open spaces and provide a diversity of new public realm opportunities.

1. New development should allow for mid-block or parcel connections through the site, especially if the development is adjacent to parks and open spaces.
2. Each linkage should be designed to respond to adjacent buildings and uses that frame the spaces. For example, a linkage adjacent to a restaurant provides additional space for outdoor café use.
3. Design linkages to be flexible spaces allowing for a change in function and use as adjacent building uses changes.
4. The side façades of buildings should contribute to the aesthetics, use, and beautification of the space. Blank walls are opportunities for art murals and temporary or permanent art installations, or backdrops for movie projections.
5. The side façades of buildings should provide a high level of transparency to allow for “eyes on the space” so that the spaces feel comfortable and safe to use.
6. Design linkages to allow for clear views and sight lines to either end of the space. Use elements such as art, landscaping, or a water feature to draw the eye to a view terminus.
7. Linkages should be visible and easily identifiable from the connecting streets and spaces, with wayfinding markers and signage.
8. Linkages should be bright, attractive, and unique. Furnishings and paving within the space should reflect a high quality design such that they look like welcoming and usable components of the public realm.
9. Make linkages accessible from the sides of buildings that front onto the spaces. Where possible, multiple entrances should be provided onto the linkage space.
10. Linkages connected to Woodbridge Avenue should have the same design quality and complementary materials to that of the new Woodbridge Avenue streetscape.
11. Permanent or temporary furnishings for seating should be provided even if the space is limited to passage as a primary use.
12. Linkages must be bright and well lit at night so that they are safe and comfortable 24/7.
13. Design linkages with exterior electrical receptacles to accommodate temporary festival installations such as strings of lighting, outdoor food carts, music equipment, or screen projectors.
14. Landscaping with the spaces must not obstruct visibility or hide sitting areas. Landscaping under trees should be low in height to a maximum of 2 feet. Trees should be limbed high such that canopies do not obstruct views and make the space feel dark and unwelcoming.

PEDESTRIAN LINKAGE DESIGN TYPOLOGIES

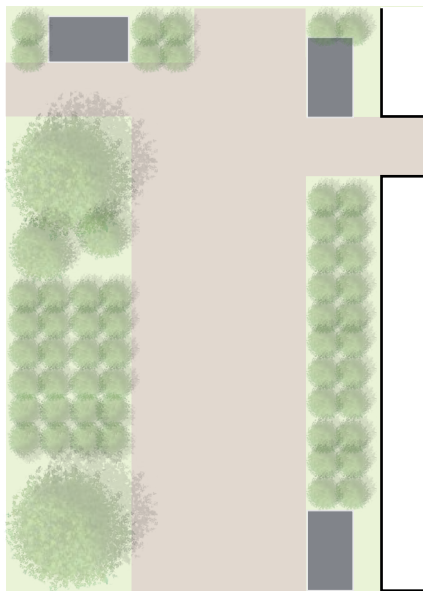
PEDESTRIAN LINKAGE IN A COMMERCIAL SETTING

- Café spill out space
- Moveable tables and chairs
- Entrances onto the space
- Planting of trees and landscaping are kept to a minimum if the passage is narrow
- Quality paving materials
- Clear and open views to the end of the passage



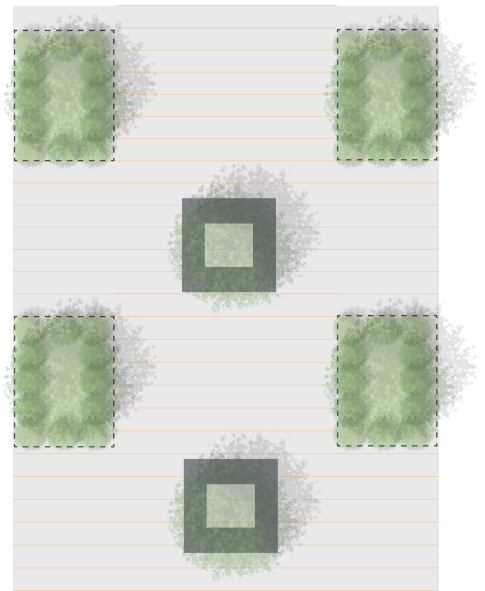
PEDESTRIAN LINKAGE IN A RESIDENTIAL SETTING

- Planted edges and seating
- Residential frontages with windows and doors fronting the space
- Clear sight lines through the space
- Opportunities for landscaping and connecting to interior building courtyards and front gardens

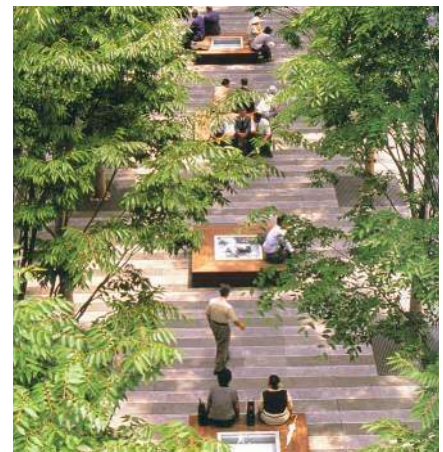


PEDESTRIAN LINKAGE IN A WIDE PASSAGEWAY

- Generous passageways that allow for considerable landscaping and furnishings
- Pockets of seating for social gathering
- Arrangement of space to accommodate events and activities



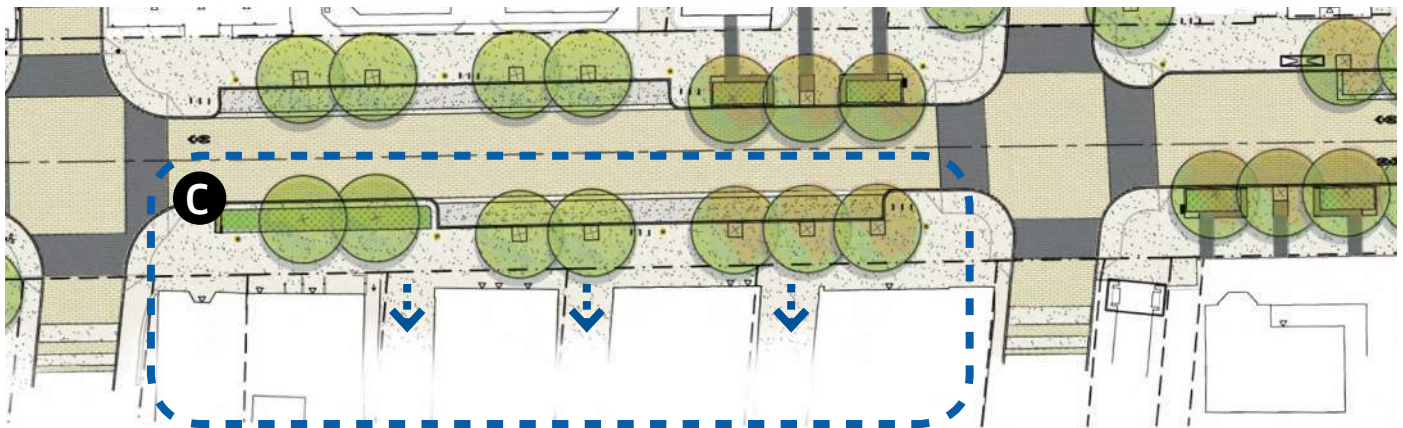
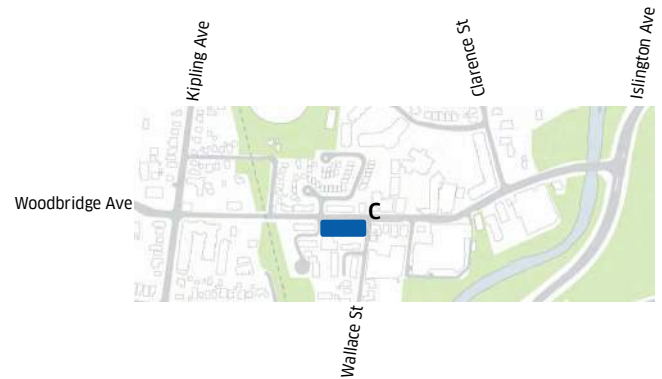
Safari Drive, Arizona (builderdotcom)



DEMONSTRATION OF GUIDELINE 5C (3 OF 3):

Opportunities for new pedestrian linkages along Woodbridge Avenue.

- C. New “finger” linkages. (Examples are on the following pages.)



Existing mid-block “finger” linkage opportunities

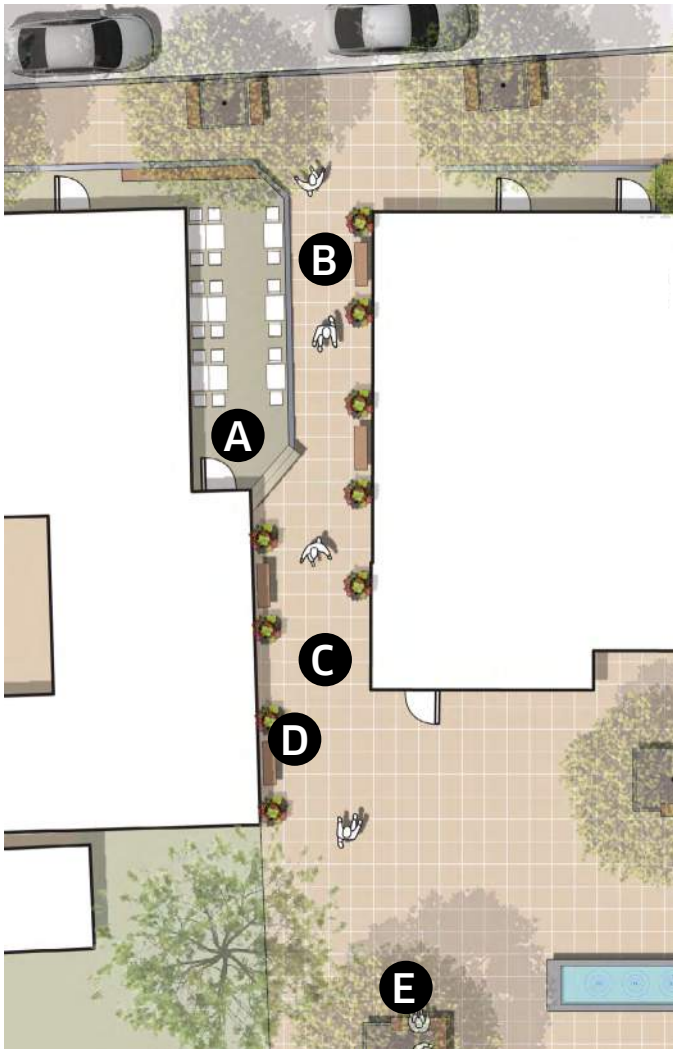


A private pedestrian linkage (532-570 Bay Street Toronto)

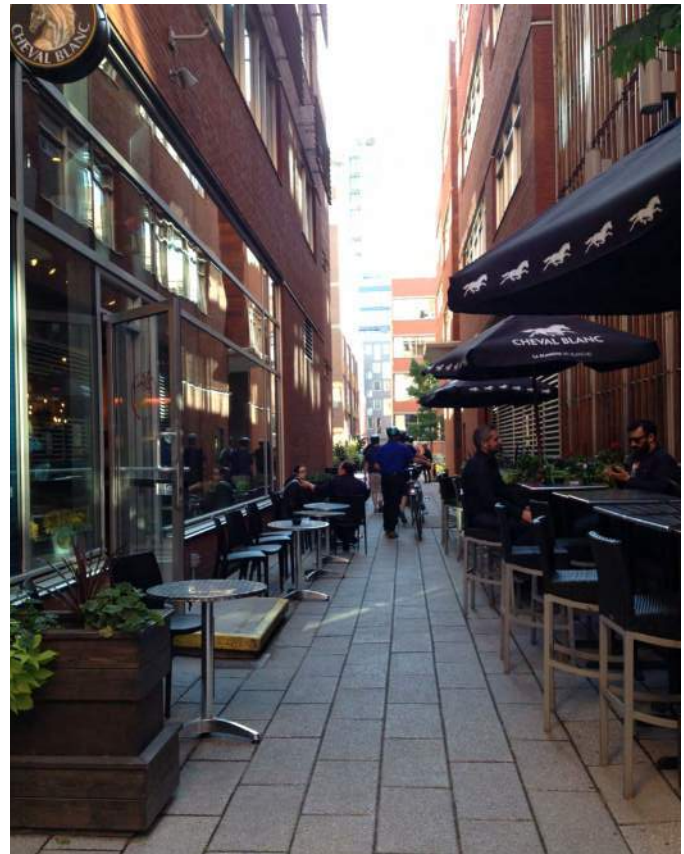
EXAMPLE 1:

Creating a pedestrian linkage with an outdoor café space.

- A. Front outdoor café space can be extended to the side of the building
- B. Clear pedestrian passage to an interior courtyard space
- C. Enhanced paving materials in keeping with a new streetscape plan for the main street
- D. Integrated benches and planters to provide places to sit, linger, and animate the space
- E. Trees and landscaping can be focal points at the end of passageways



Woodbridge Avenue linkage opportunity

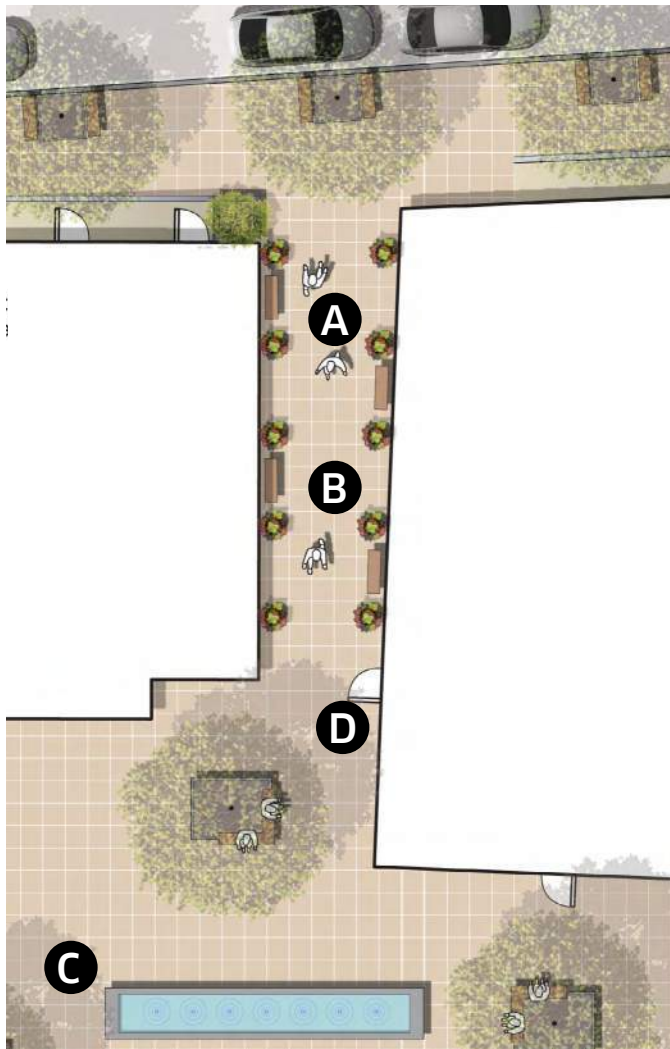


Montreal, Quebec

EXAMPLE 2:

Creating a pedestrian linkage in an enhanced passageway with seating.

- A. Narrow passageway can accommodate staggered benches integrated with planters
- B. Enhanced paving materials in keeping with a new streetscape plan for the main street
- C. Features such as water or art as focal points at end of the passageway
- D. Side building entrances onto the space help to animate the space and make it more accessible



Woodbridge Avenue linkage opportunity

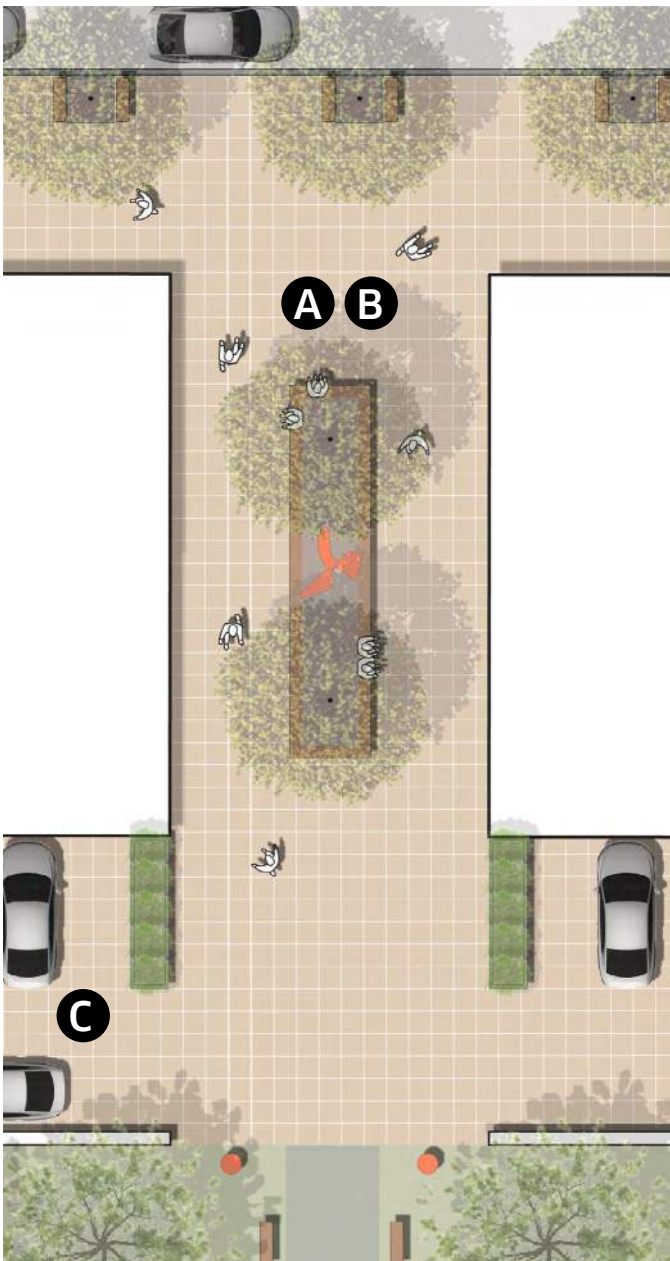


Chestnut Park, Pennsylvania (flickr photo sharing)

EXAMPLE 3:

Creating a pedestrian linkage with a landscaped entryway to an internal open space beyond.

- A. Wide passageway can accommodate larger planting areas, integrated seating, and art
- B. Enhanced paving materials in keeping with a new streetscape plan for the main street
- C. Connection to rear parking, trails, and open spaces beyond



Woodbridge Avenue linkage opportunity



120 Bloor Street East (<http://map.toronto.ca/emaps/images/planning/pops>)

6.0 CONNECTING THE PUBLIC REALM

As described in the previous chapters, the public realm can be enhanced and made accessible by physically and visually connecting the network of open spaces including public parks, piazzas, and parkettes; public and private residential streets and lanes; the main street corridors of Woodbridge, Islington and Kipling Avenue; and private open spaces including linkage connections. The greatest opportunities to do so include expanding and enhancing the trails network to eliminate linkage gaps in the public realm, and by enhancing existing and creating new view corridors to spaces.

The trails are the “low hanging fruit” in connecting the public realm as they provide the greatest means of traversing the landscape and moving between open spaces. The trails provide interesting recreational experiences and increased commuting opportunities that encourages walking and cycling instead of driving. Adding animated mid-block connections, and signage

opportunities that tell the story and history of place, further increases the unique experiences as you traverse the area. Heritage trail markers and heritage signage can be located at trail heads, along the trail routes, within the parks and urban spaces, at key pedestrian nodes and intersections, and along the commercial main street.

Wayfinding, Trail, & Heritage Signage

Another way of connecting the public realm is by creating a clear and comprehensive signage and wayfinding strategy for the public realm framework. The importance of the aforementioned is that it not only allows you to find your way around, it is a means of creating an increased awareness of the vast and diverse public realm context and unique assets that define the Woodbridge heritage district. The more the community and visitors are made aware of the relevance and significance of the heritage assets, the more willingness there is to take pride and be stewards of the place. Also, the useage of the public realm will increase if the community and visitors alike are aware and knowledgeable of the system and what it has to offer.



A well-connected, multi-modal park

ILLUSTRATIVE GUIDELINES

6A. TRAIL CONNECTIONS

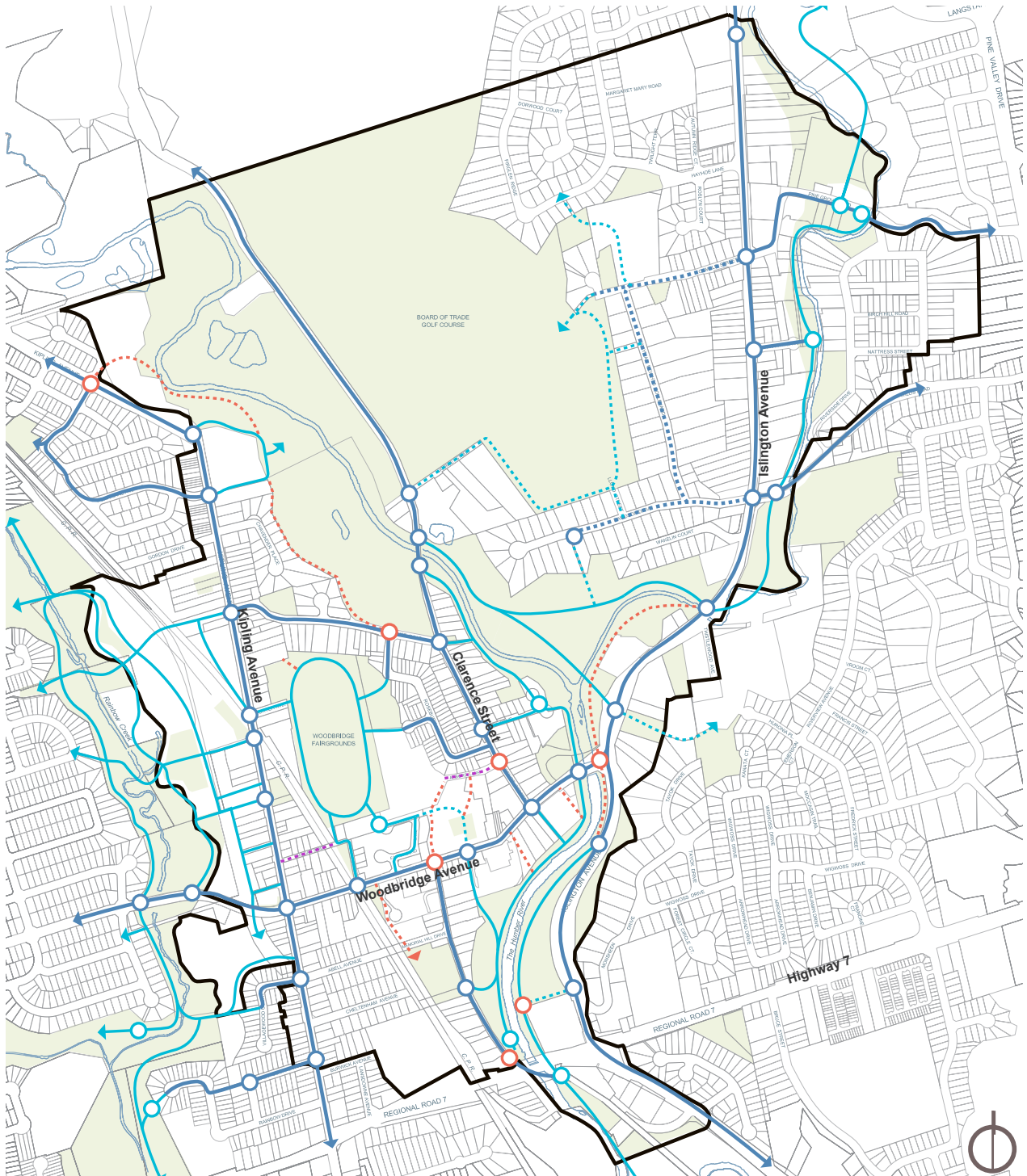
A connected trail system supports a healthy and walkable community. The Trail Linkages map on the following page illustrates the consolidated trail network for Woodbridge. New trail connections and trail heads have also been identified as part of this study.

1. New trail connections that should be established include:
 - a trail link from the Old Fire Hall Parkette to Memorial Hill Park.
 - a trail link in the valley lands east of the Fred Armstrong Parkette on the north side of Woodbridge Avenue, to connect the system north.
 - a trail link on the south side of Woodbridge Avenue connecting to the river valley that provides a direct link to Veteran's Park.
 - re-aligned trail connections through Market Lane.
2. Provide clear visual connectivity to each of the linkages and trail head sites.

6B. SIGNAGE & WAYFINDING

A signage and wayfinding system should be part of an overall strategy to inform and increase the awareness of what makes Woodbridge unique, to locate and experience assets, and to enable the full recreational and enjoyment potential of the public realm. This is especially beneficial to new landowners, developers, and visitors and a growing diverse demographic. The history of Woodbridge can be told using signage, landscaping, commemorative plaques, mapping, multi-media technology, and art.

1. All aspects of the public realm should be physically and visually accessible safe, well lit, and comfortable.
2. All signage should be located in places that are clearly visible and accessible.
3. Provide heritage signage such as free standing markers, or artistic features integrated with signage and seating at key locations along the avenue to identify significant places, linkages and assets and to tell their story.
4. Provide commemorative signage at the Old Fire Hall Parkette and the Fred Armstrong Parkette to increase awareness of the spaces and to encourage increased use.
5. Provide heritage signage at the trail heads for all heritage trails and linkages such as the Fairgrounds trail and the Toronto Carrying Place Trail Regional trail located at Islington and Woodbridge Avenue.
6. All signage and wayfinding design features and furnishings for Woodbridge Avenue should be designed in accordance with the Detailed Streetscape Master Plan, Volume II.
7. Provide amenities along the trails and linkages such as seating, garbage receptacles, lighting, canopies and signage to encourage use.
8. Wayfinding elements should allow for potential city-wide branding and future-proofing for electronic engagement technology.



Trail Linkages Referenced from the Woodbridge Centre Secondary Plan and New Trail Connections

Legend

- Woodbridge Area Study Boundary
- Approved (On Road Trails)
- Proposed (On Road Trails)
- Proposed New On Road Trails (as per guidelines)

- Approved Multi Use Trails
- Proposed Multi Use Trails
- Proposed New Multi Use Trails (as per guidelines)

- Multi Use Trail Heads
- Road Trail Heads
- Proposed New Trail Heads (as per guidelines)

Note *
Approved Trails Include:
OPA 695 Trails Network
WHCD Trails Network
City of Vaughan
Pedestrian and Bike Trails Master Plan
OPA 597 Trails Network

6C. WOODBRIDGE AVENUE MID-BLOCK LINKAGES

The mid-block physical and visual connections along Woodbridge Avenue are part of the heritage story of Woodbridge. The cultural heritage analysis undertaken as part of the study identified linkages and views that were deemed important to recognizing the historic character of place, especially in the Woodbridge commercial core area.

Mid-Block Linkages

The following connections along Woodbridge Avenue are identified because of their heritage significance and should be established and enhanced accordingly.

'Henderson's Pharmacy' Block: The pharmacy was previously known as the 'Dominion Exchange' and then 'Woodbridge Store'.

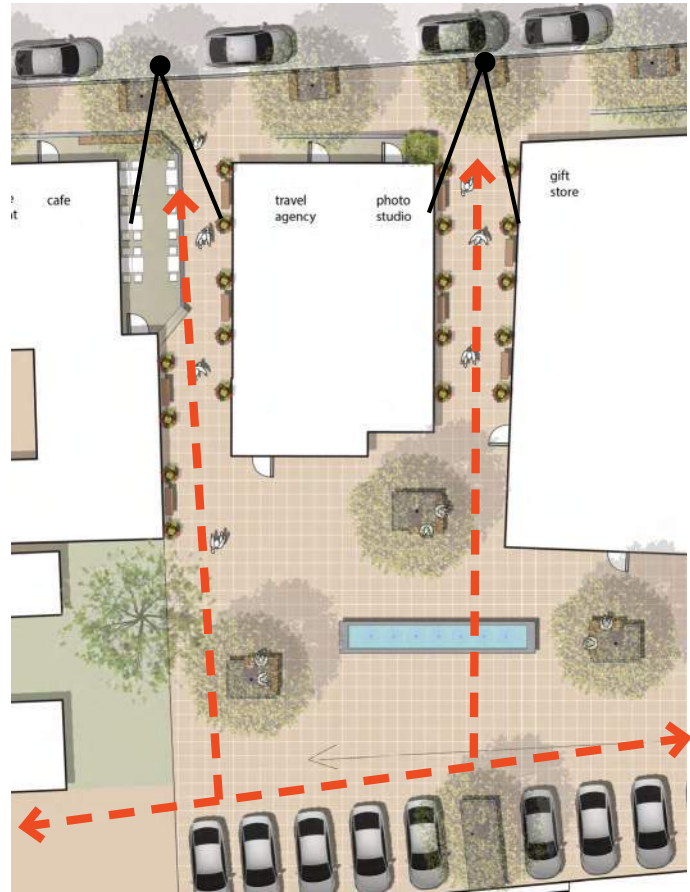
1. Develop a series of connections through and within the 'Henderson's Pharmacy' block. Enhanced mid-block linkages would provide key connections to a potential internal plaza space from Woodbridge Avenue, and connect west to Wallace Street, east to Nathaniel Wallace House, and south to the river valley.

The Woodbridge Avenue Fairgrounds Link: This was a pedestrian link that was established in the mid-twentieth Century.

2. Create a pedestrian link starting at the intersection on Wallace Avenue and Woodbridge Avenue on the north side to visually and physically reestablish a historic corridor that would have provided connectivity from Wallace Street all the way to the Fairgrounds.

The Old Humber River Footprint: This was the alignment of the river pre Hurricane Hazel.

3. Create a new linkage that follows the alignment of the river pre Hurricane Hazel and commemorate the location of the old Elliston Park and skating rink site.

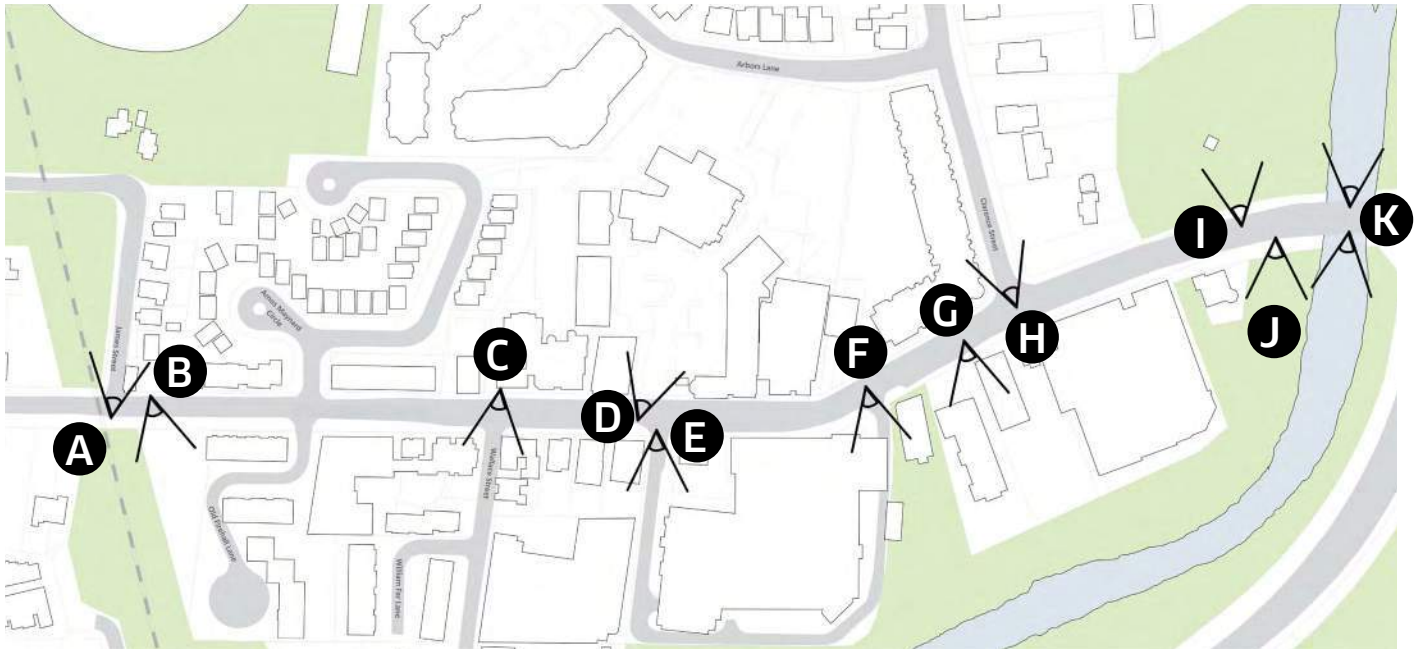


Mid-block linkages to commemorate heritage pattern of development

6D. SIGNIFICANT HERITAGE VIEWS & VIEW CORRIDORS

1. The following views along Woodbridge Avenue identified on the Significant Heritage Views and View Corridors plan should be maintained and enhanced.
2. Enhance the views and view corridors as per the Woodbridge Avenue Detailed Streetscape Master Plan, Volume II.

- A. William Street and North Rail Corridor
- B. Old Firehall Parkette and South Rail Corridor
- C. Wallace Street
- D. Market Lane
- E. 141 Woodbridge River Valley
- F. 102 Woodbridge Avenue
- G. 100 Woodbridge Avenue
- H. 96 Woodbridge Avenue
- I. Fred Armstrong Parkette and River Valley
- J. South Humber River Valley
- K. North Humber River
- L. South Humber River



Significant Heritage Views and View Corridors



A: Long views to cultural heritage landscape



C: Short and long views to cultural heritage landscapes



E: Long views to the south river valley



F: Long views to the south river valley



I: Short and long views to cultural heritage landscapes



K: Long views to the Humber River



...Respecting and celebrating heritage, and designing a unique, quality environment for people, builds community, identity, and fosters a strong sense of place.

