

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 145-2019

A By-law to amend City of Vaughan By-law 1-88.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

NOW THEREFORE the Council of the Corporation of the City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:

- a) Rezoning the lands shown as “Subject Lands” identified as Block A on Schedule “1” attached hereto from R1 Residential Zone to R5 Residential Zone, in the manner shown on the said Schedule “1”.
- b) Deleting Exception Paragraph (192) in its entirety and substituting therefore the following Paragraph to Section 9.0 “EXCEPTIONS”:

“(192) Notwithstanding the provisions of:

- a) Subsection 3.14 respecting Permitted Yard Encroachments and Restrictions;
- b) Subsection 3.8 f) respecting the location of the Lay-by Parking, Aisle and Driveway widths;
- c) Subsection 3.21 respecting Frontage on a Public Street;
- d) Schedule “A” respecting the Minimum Zone requirements in an R5 Residential Zone and R1 Residential Zone;

The following provisions shall apply to the lands shown as “Subject Lands” on Schedule “E-198” attached hereto as Schedule “1”:

- ai) Exterior stairways not exceeding one-half storey in height shall

- be permitted to encroach 2.4 m into the required front yard;
- bi) Driveways and aisles servicing the parking for this development shall be from a 4.6 m common element driveway;
- ci) The proposed semi-detached lots for the lands zoned R5 Residential Zone and shown on Schedule 1 shall have frontage on a minimum 4.6 m wide private common element driveway;
- di) The Lands zoned R5 Residential Zone on Schedule 1 shall permit a maximum of 12 dwelling units fronting on a private common element condominium road with the following provisions:
- The minimum lot area/unit shall be 216 m²
 - The maximum lot coverage shall be 54.5 %
 - The minimum setback to a garage shall be 6.0 m
 - The minimum rear yard shall be 7.0 m except that the third-floor building projection shall be permitted to encroach 1.0 m into the required rear yard
- dii) The following provisions shall apply for the lands zoned R1 Residential Zone being Lots 1-6 on Schedule "E-198" as shown on Schedule 1;
- The lots shall be used only for the erection and maintenance of single-family detached dwellings
 - The minimum rear yard setback for lot 2 shall be 14.6 m and the existing stairs shall be allowed to encroach 3.25 m into the required rear yard
 - The minimum front yard shall be 15.0 m (or as existing)
 - The minimum exterior side yard shall be 9.0 m (or as existing)
 - The minimum rear yard for lots 1, 3, 4, 5 and 6 shall be 15.0 m

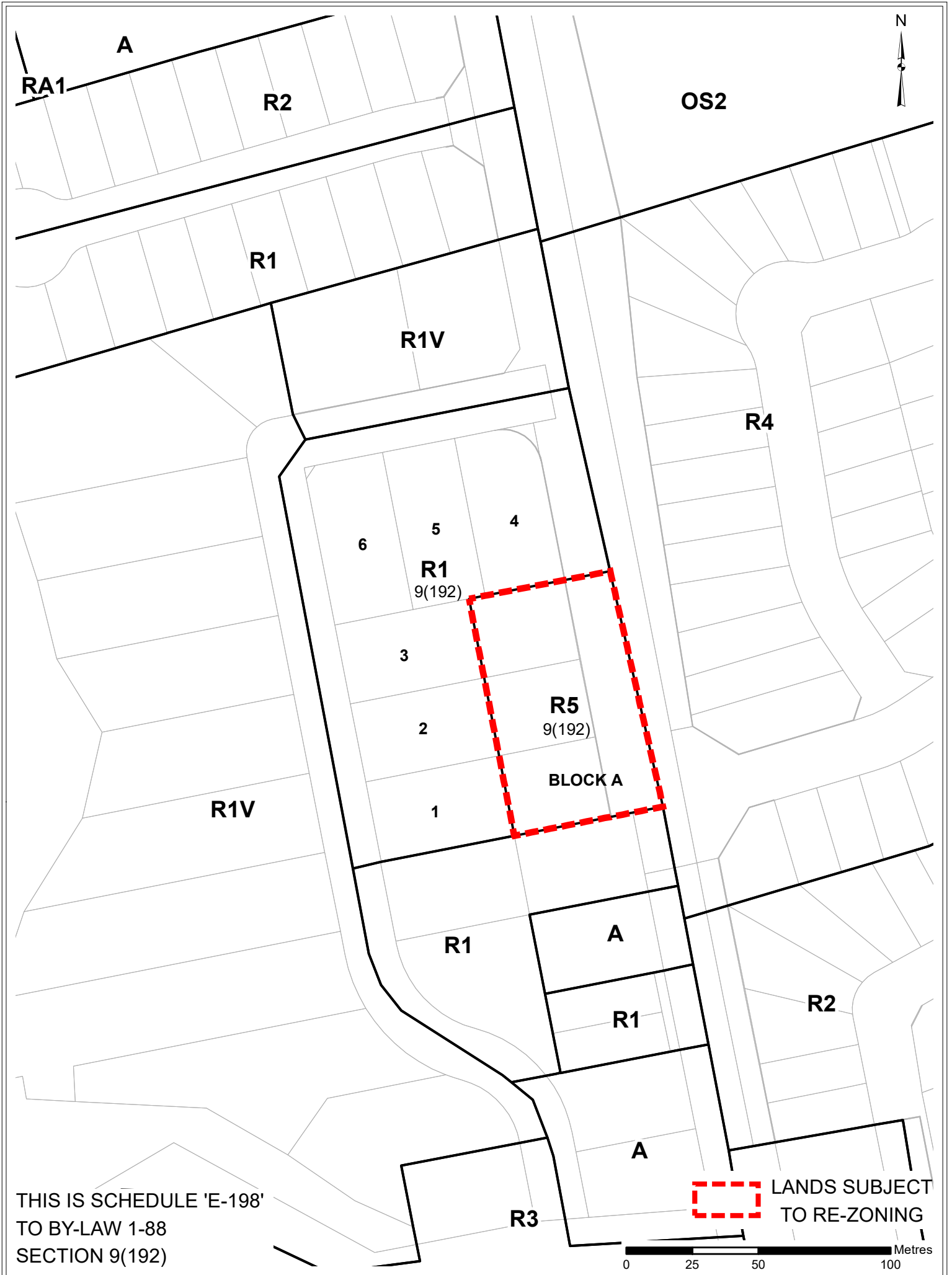
- c) Deleting Schedule "E-198" Section 9(192) and substituting therefore Schedule "E-198" attached hereto as Schedule "1".
- d) Deleting Key Map 7B and substituting therefor the Key Map 7B attached hereto as Schedule "2".

2. Schedules "1" and "2" shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 23rd day of October, 2019.

Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk



**THIS IS SCHEDULE '1'
TO BY-LAW 145-2019
PASSED THE 23RD DAY OF OCTOBER, 2019**

FILE: Z.14.028
RELATED FILE: DA.18.081
LOCATION: Part of Lot 10, Concession 7
APPLICANT: Gabriele Tatangelo, Giuseppe Falletta
 and Ravinder Singh Minhas
CITY OF VAUGHAN

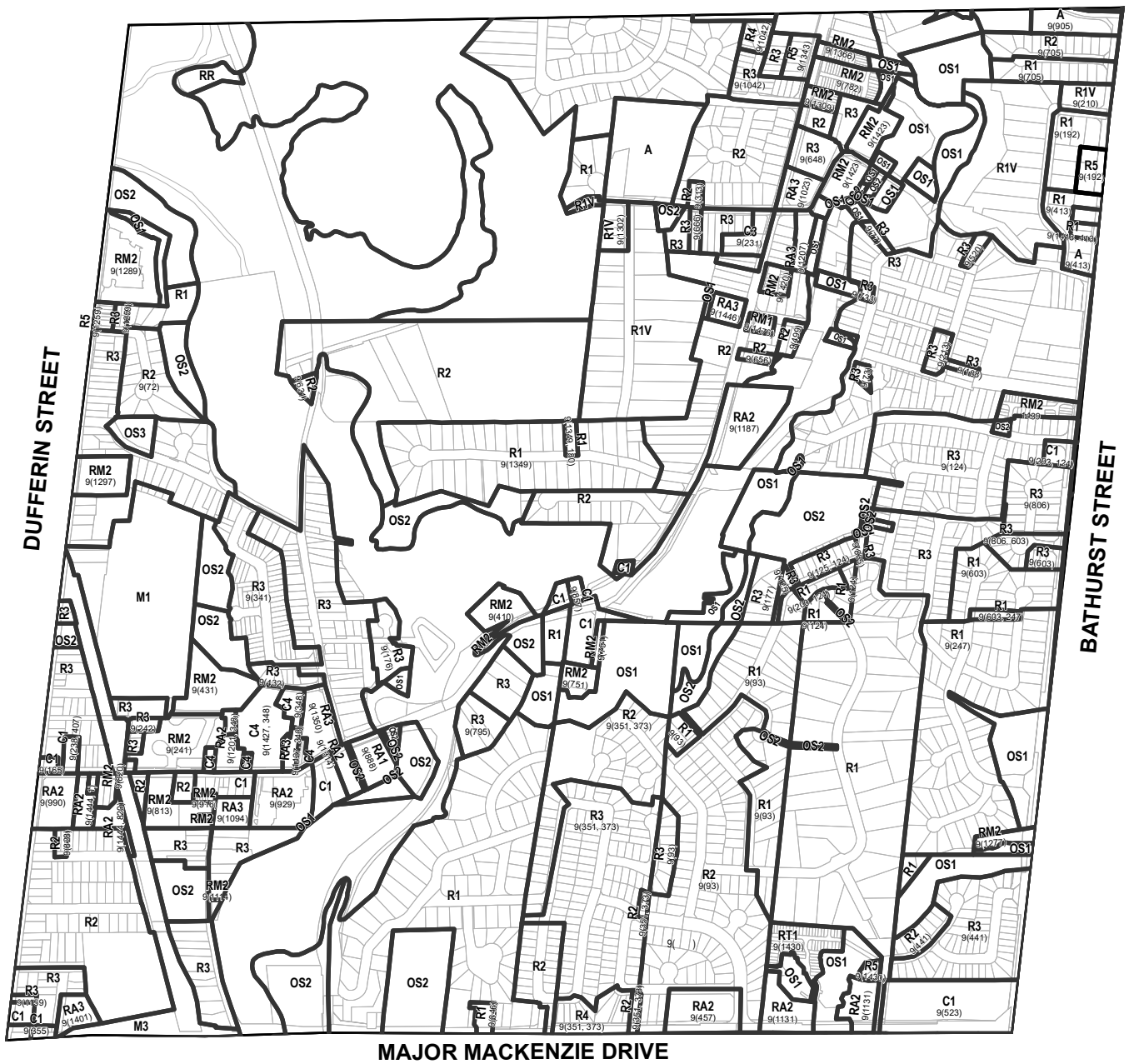
SIGNING OFFICERS

_____ MAYOR

_____ CLERK



TESTON ROAD

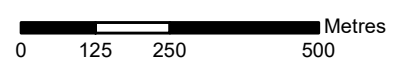


DUFFERIN STREET

BATHURST STREET

MAJOR MACKENZIE DRIVE

KEY MAP 7B
BY-LAW NO. 1-88



**THIS IS SCHEDULE '2'
TO BY-LAW 145-2019
PASSED THE 23RD DAY OF OCTOBER, 2019**

FILE: Z.14.028
RELATED FILE: DA.18.081
LOCATION: Part of Lot 10, Concession 7
APPLICANT: Gabriele Tatangelo, Giuseppe Falletta
and Ravinder Singh Minhas
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

CLERK

SUMMARY TO BY-LAW 145-2019

The lands subject to this By-law are located on the west side of Pine Valley Drive, south of Langstaff Road, being the rear portions of lots 1, 2 and 3, on Registered Plan 65M-1776, known municipally as 61, 71 and 83 Hayhoe Avenue, City of Vaughan.

The purpose of this by-law is to rezone the Subject Lands from R1 Residential Zone to R5 Residential Zone to permit the development of the site with 12 semi-detached dwelling units served by a common element condominium road with the following exceptions, which were approved by Council on June 27, 2017:

- Permit a minimum of rear yard of 7.0 m;
- part of the driveway, aisles and lay-by parking serving this development shall be served by a 4.6 m private common element driveway;
- part of the common element driveway in excess of 4.6 m will be located in the regional right-of-way;
- lots shall have frontage on a private common element condominium driveway;
- existing stairs for Lot 2, Plan 65M-1776 shall be permitted to encroach into the required rear yard more than 3.0m;
- minimum lot area shall be 216 m²;
- minimum setback to a garage shall be 6.0 m

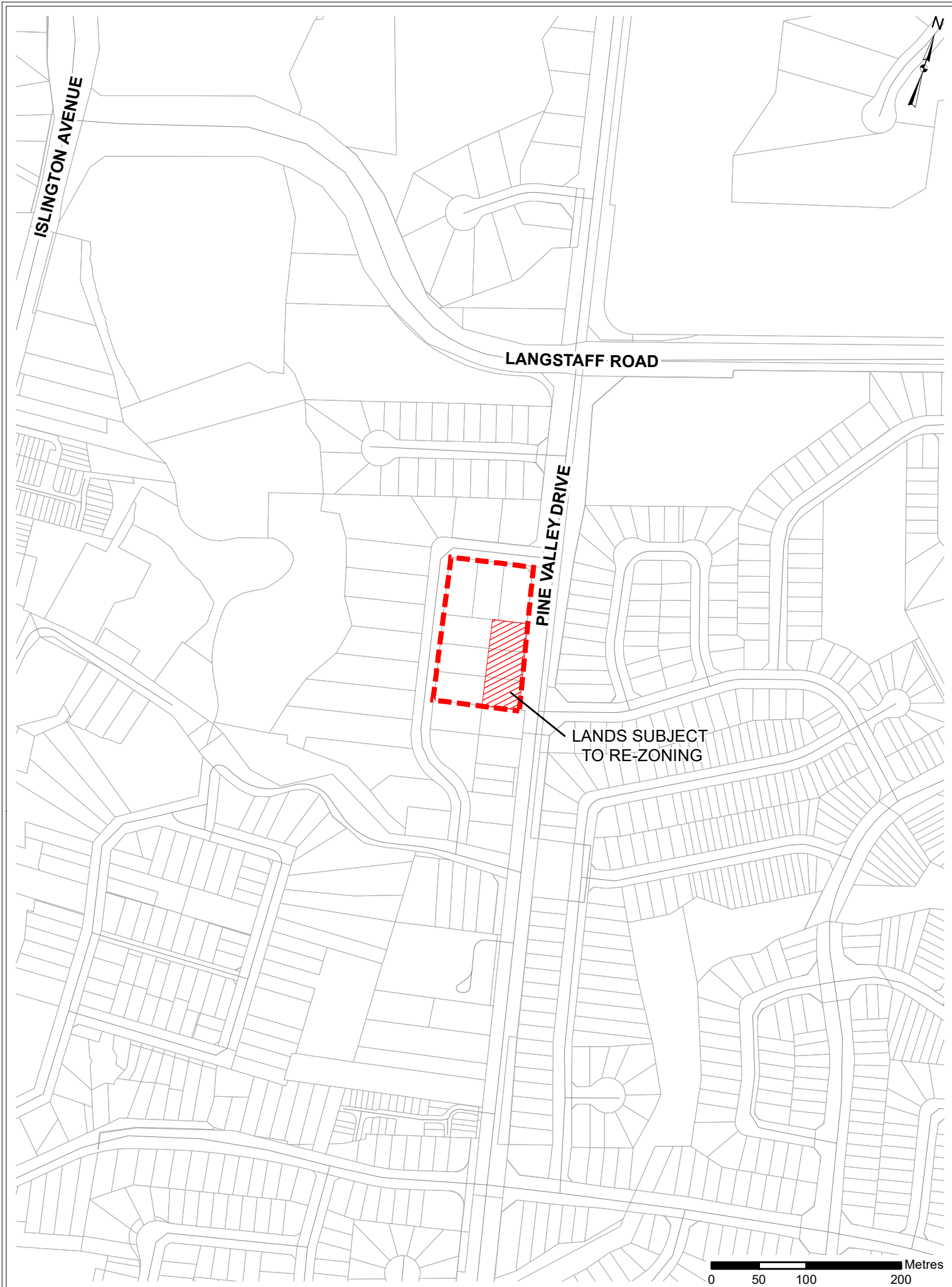
The following exceptions were identified through the review and approval of the site plan:

- exterior stairways shall be permitted to encroach 2.40 m into the front yard;
- permit the third floor projection to encroach 1.0 m into the required rear yard;
- Lot 2, Plan 65M-1776 shall be permitted rear yard setback of 14.6 m to the building;
- permit maximum lot coverage of 54.5 %

Vaughan Council of June 27, 2017, approved Zoning Amendment File Z.14.028 to rezone the Subject Lands to R5(H) Residential Zone”, with the addition of a Holding Symbol “(H)” The conditions for removing the Holding Symbol “(H)” included:

- Council approval of the Site development Application;
- Council allocating servicing for the Subject Lands

The approval of Site Development Application DA18.081, which includes a Recommendation for the allocation of servicing for the subject lands would satisfy the conditions for the removal of the Holding Symbol.



LOCATION MAP TO BY-LAW 145-2019

FILE: Z.14.028

RELATED FILE: DA.18.081

LOCATION: Part of Lot 10, Concession 7

APPLICANT: Gabriele Tatangelo, Giuseppe Falletta
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 **SUBJECT LANDS**