

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 090-2024

A By-law to amend City of Vaughan By-law 1-88, as amended.

WHEREAS there has been an amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

AND WHEREAS subsection 24(2) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that Council may pass a by-law that does not conform to the Official Plan on lands that are subject to an adopted amendment, and that once the amendment comes into effect, the By-law shall then conform; and

AND WHEREAS subsection 24(2.1) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that the By-law comes into force and effect upon the Official Plan Amendment coming into effect;

NOW THEREFORE the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
 - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from R1 Residential Zone to C11 Mainstreet Commercial Zone in the manner shown on the said Schedule “1”.
 - b) Adding the following Paragraph to Section 9.0 “EXCEPTIONS”:

“(1576) Notwithstanding the provisions of:

 - a) Subsection 2.0 respecting the Definitions for Mixed-Use Development Mainstreet and Parking Space;
 - b) Subsection 3.8 g) respecting the width of the Access or Driveway;
 - c) Subsection 3.9 a) respecting the Loading Space Requirements;

- d) Subsections 3.13 and 5.1.1 respecting Minimum Landscaped Area;
- e) Subsection 3.14 respecting Permitted Yard Encroachments and Restrictions;
- f) Subsection 3.16 b) and 4.1.1 respecting Accessory Buildings and Structures;
- g) Subsection 3.17 respecting Buildings Below Grade;
- h) Subsection 4.1.6 respecting the Minimum Amenity Area;
- i) Subsection 5.1.5 and Schedule A5 respecting Commercial Zone Requirements in the C11 Mainstreet Commercial Zone;
- j) Subsection 5.14.1.3 Respecting the Location of Parking Areas;

The following provisions shall apply to the C11 Mainstreet Commercial Zone lands shown as “Subject Lands” on Schedule “E-1738”:

- ai) For the purpose of this By-law, the following definition shall apply:

MIXED-USE DEVELOPMENT MAINSTREET - Means a building or part of a building that contains permitted commercial uses and residential uses in combination, excluding a hotel, motel or tourist home, provided that all main residential uses are located in the two storeys above the first storey, except for entrances and lobbies which are located on the first floor and accessory uses, such as but not limited to storage, mechanical and laundry facilities, which may be permitted to be located in a basement or cellar.

- aii) For the purpose of this By-law, the following definition shall apply:

PARKING SPACE - Means a rectangular area

measuring at least 2.7 metres by 5.8 metres, exclusive of any aisles or ingress and egress lanes, used for the temporary parking of motor vehicles, and shall include a private garage or carport and private driveway leading thereto.

- bi) A parking area shall be provided with a means of access or driveway at least 5.4 m but not exceeding 7.64 m in width measured perpendicular to the centre line of the driveway.
- ci) One loading space shall be required for the garbage and recycling area of the commercial uses, and it is to be located in the rear yard and may be visible from the street.
- di) The minimum required landscaped strips shall be as follows:
 - i) 0 m in width abutting the street line (Islington Avenue)
 - ii) 1.5 m in width abutting the Residential Zone within the rear yard (south lot line)
 - iii) 1.2 m in width abutting the Residential Zone within the west side interior side yard
 - iv) 1.5 m in width abutting within the east side interior side yard abutting the Commercial Zone
- ei) A covered or uncovered balcony may encroach up to 0 m from the front lot line and up to 1.8 m into the minimum required rear and interior side yards.
- fi) The minimum rear yard for the commercial garbage enclosure shall be 4.15 m.
- fii) The maximum height of a retaining wall shall not exceed 1.6 m.
- fii) The minimum setback of a retaining wall shall be 0 m

from the front lot line and the west interior side lot line.

fiv) The minimum setback of a retaining wall shall be 1.5 m from the rear lot line and the east interior side lot line.

gi) The minimum front yard setback to a below grade parking structure shall be 0 m (Islington Avenue).

hi) The minimum amenity area shall be 750 m².

ii) The following zone requirements for the C11 Mainstreet Commercial Zone shall apply:

- Minimum front yard - 0 m
- Minimum rear yard - 13.5 m
- Maximum lot coverage - 33%
- Minimum lot depth - 32 m
- Maximum building height - 12 m (3-storeys)
- Maximum gross floor area - 2,176 m² and a maximum floor space index of 0.87 times the area of the lot

ji) A parking area may be located in the east interior side yard and shall not be located closer to the street line than the main building on the lot.

c) Adding Schedule "E-1738" attached hereto as Schedule "1".

d) Deleting Key Map 8E and substituting therefor Key Map 8E attached hereto as Schedule "2".

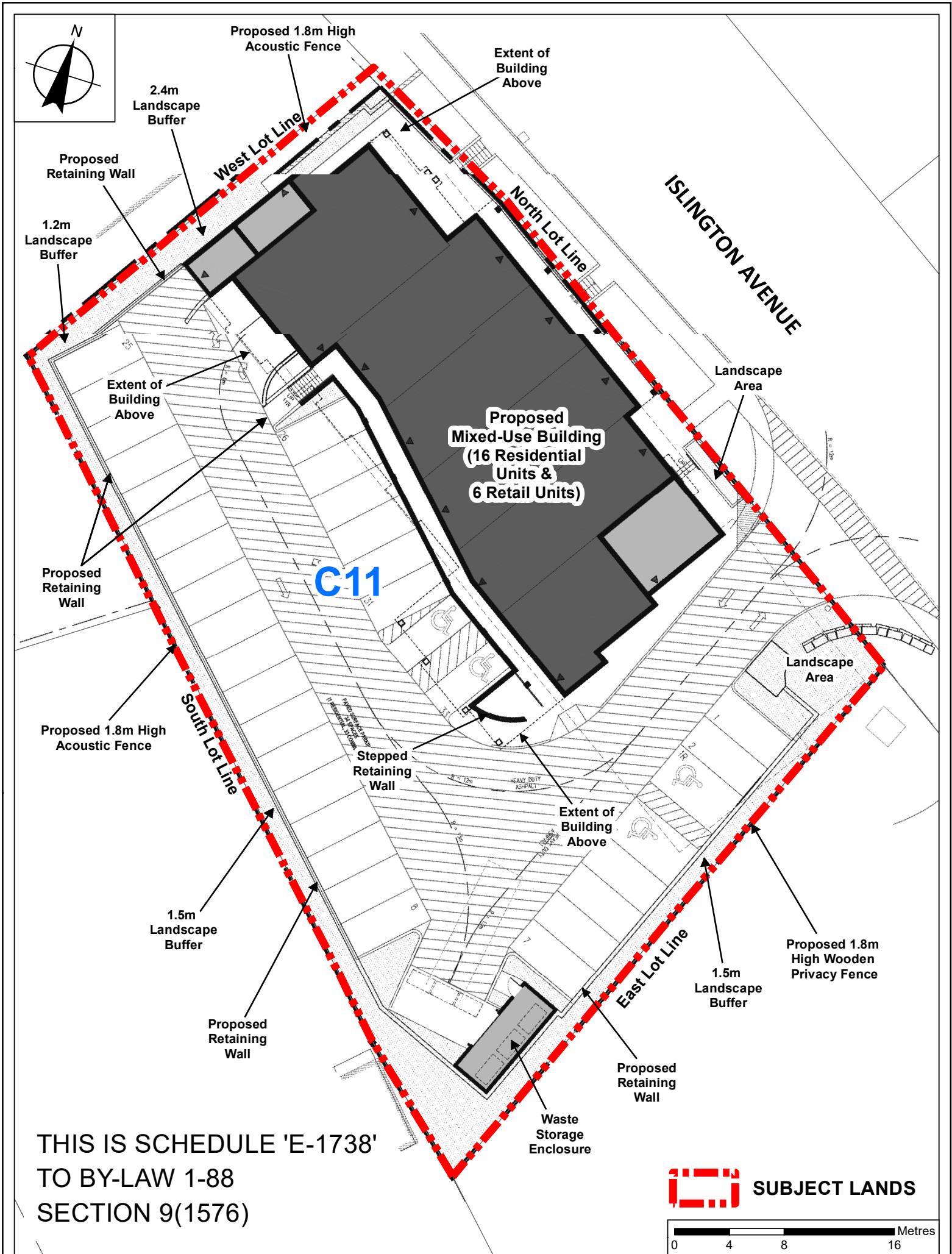
2. Schedules "1" and "2" shall be and hereby form part of this By-law.

Voted in favour by City of Vaughan Council this 22nd day of May, 2024.

Steven Del Duca, Mayor

Todd Coles, City Clerk

Authorized by Item No. 4 of Report No. 1 of the Committee of the Whole.
Report adopted by Vaughan City Council on January 26, 2021.
City Council voted in favour of this By-law on May 22, 2024.
Approved by Mayoral Decision MDC 007-2024 dated May 22, 2024.
Effective Date of By-Law: May 22, 2024



THIS IS SCHEDULE 'E-1738'
 TO BY-LAW 1-88
 SECTION 9(1576)

 SUBJECT LANDS

0 4 8 16 Metres

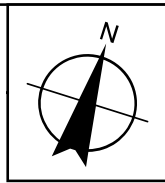
THIS IS SCHEDULE '1'
 TO BY-LAW 090-2024
 PASSED THE 22ND DAY OF MAY, 2024

FILE: Z.17.018
RELATED FILES: OP.18.021 and DA.17.042
LOCATION: Part of Lot 24, Concession 8;
 10568 Islington Avenue
APPLICANT: Portside Developments (Kleinburg) Inc.
CITY OF VAUGHAN

SIGNING OFFICERS

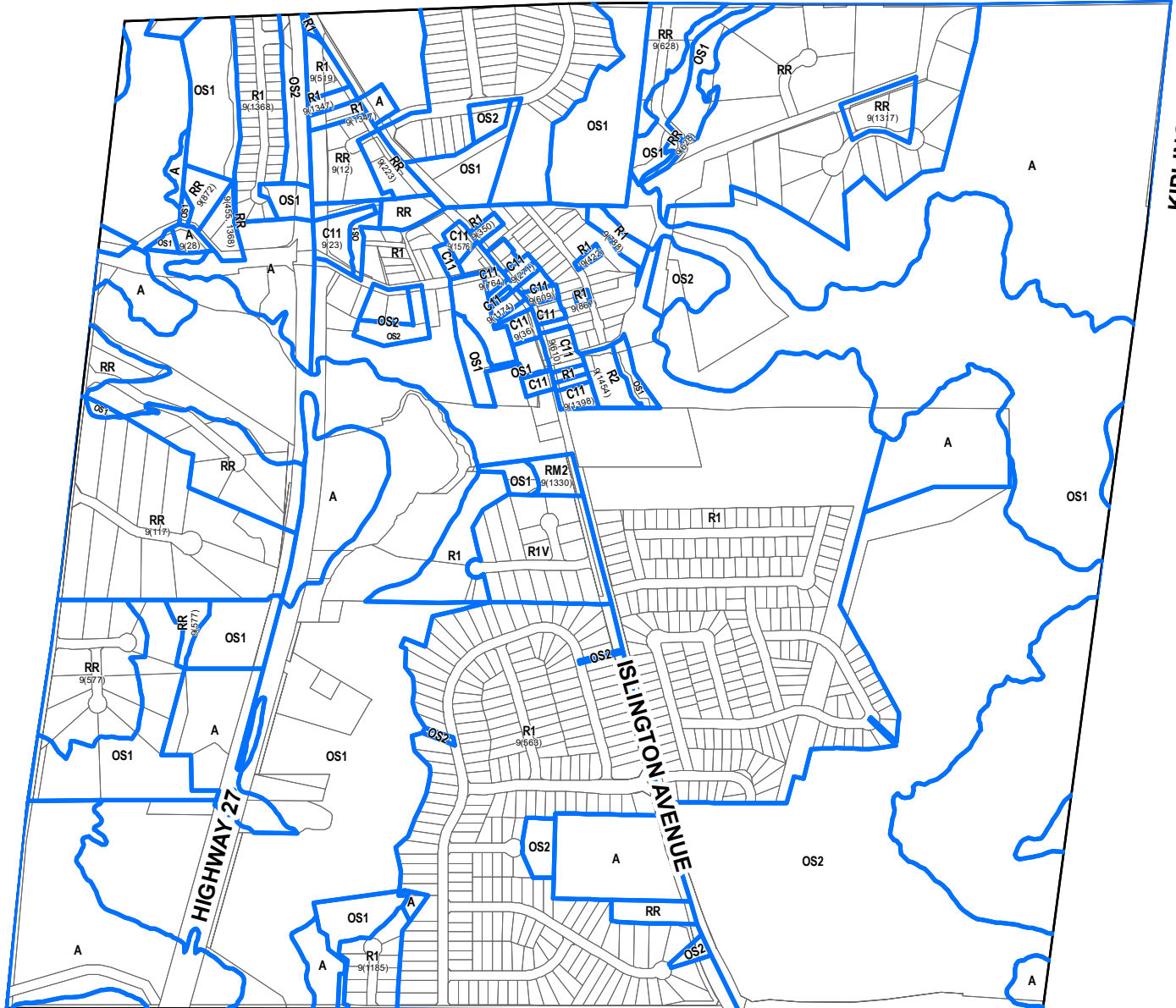
_____ MAYOR

_____ CLERK



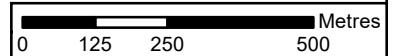
TESTON ROAD

KIPLING AVENUE



MAJOR MACKENZIE DRIVE

KEY MAP 8E
BY-LAW 1-88



THIS IS SCHEDULE '2'
TO BY-LAW 090-2024
PASSED THE 22ND DAY OF MAY, 2024

FILE: Z.17.018
RELATED FILES: OP.18.021 and DA.17.042
LOCATION: Part of Lot 24, Concession 8;
10568 Islington Avenue
APPLICANT: Portside Developments (Kleinburg) Inc.
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

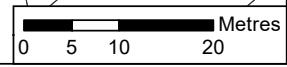
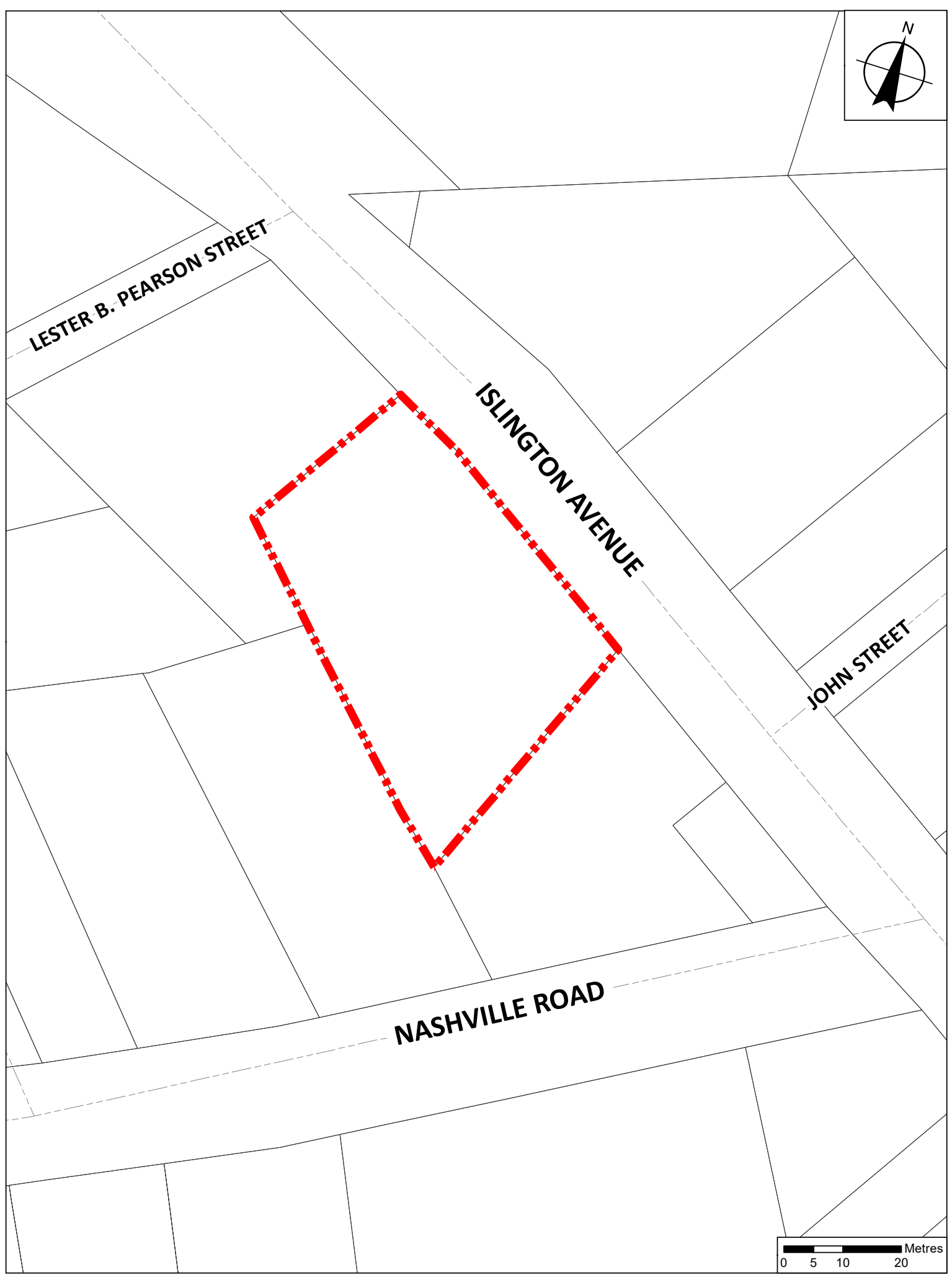
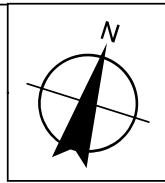
CLERK

SUMMARY TO BY-LAW 090-2024

The Subject Lands are located on the south side of Islington Avenue and west of Nashville Road, are municipally known as 10568 Islington Avenue, are legally described as Lot 24, Plan 268 Vaughan; Lot 18, Plan 210 Vaughan; and Part 1, Reference Plan 65R-16052, and are located within Part of Lot 24, Concession 8, in the City of Vaughan.

The purpose of this By-law is to rezone the Subject Lands from R1 Residential Zone to C11 Mainstreet Commercial Zone to permit a three-storey mixed-use residential-commercial development for 16 residential apartment units and 558.44 m² of commercial area.

The By-law also provides site-specific exceptions to the definition for mixed-use development mainstreet and parking space, maximum access driveway, parking area location, minimum loading spaces, permitted yard encroachments and restrictions, permitted accessory buildings and structures and restrictions, minimum setbacks for buildings below grade, minimum landscape strip, minimum amenity area, minimum front and rear yards, minimum lot depth, and maximum lot coverage, building height, gross floor area and floor space index.



LOCATION MAP TO BY-LAW 090-2024

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