

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 091-2024

A By-law to amend City of Vaughan By-law 001-2021, as amended.

WHEREAS there has been an amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

AND WHEREAS subsection 24(2) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that Council may pass a by-law that does not conform to the Official Plan on lands that are subject to an adopted amendment, and that once the amendment comes into effect, the By-law shall then conform; and

AND WHEREAS subsection 24(2.1) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that the By-law comes into force and effect upon the Official Plan Amendment coming into effect;

NOW THEREFORE the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 001-2021, as amended, be and it is hereby further amended by:
 - a) Deleting the reference of Subsection 14.138 in Part 14 Exception Zones from the Subject Lands and replacing it with a new Subsection 14.1168 as follows:

Exception Number 1168	Municipal Address / Legal Description: 10568 Islington Avenue, and are legally described as being Part of Lot 24, Concession 8, in the City of Vaughan
Applicable Parent Zone: KMS Main Street Mixed-Use – Kleinburg Zone	
Schedule A Reference: Map 177	
By-law 091-2024	
14.1168.1 Lot and Building Requirements	
1. The following provisions shall apply to the lands identified as “Subject	

Lands”, as shown on Figure “E-1738”:

- a. The minimum front yard shall be 0 m.
- b. The minimum rear yard shall be 13.5 m.
- c. The maximum permitted lot coverage shall be 33%.
- d. The maximum building height shall be 12 m (3-storeys).
- e. The maximum gross floor area shall be 2,176 m² and a maximum floor space index of 0.87 times the area of the lot.
- f. The minimum interior side yard setback for the commercial waste storage enclosure shall be 2 m.
- g. The minimum rear yard setback for the commercial waste storage enclosure shall be 4.15 m.
- h. The minimum front yard setback to a below grade parking structure shall be 0 m (Islington Avenue).

14.1168.2 Parking and Loading Requirements

1. The following parking area and loading space requirements shall apply to the lands zoned KMS Main Street Mixed-Use – Kleinburg Zone, as shown on Figure “E-1738”:
 - a. The minimum horizontal width shall be 0.3 m for the bicycle parking space.
 - b. The minimum parking rate for the commercial uses shall be 6 parking spaces / 100 m² of gross floor area.
 - c. No long-term bicycle parking or short-term bicycle parking shall be required for the residential use.
 - d. No long-term bicycle parking shall be required for the commercial uses.
 - e. The minimum setback for the short-term bicycle parking shall be 0.85 m from the parking area.
 - f. One loading space shall be required for the garbage and recycling area of the commercial use, that may be located in the rear yard and that may be visible from the street.
 - g. A surface parking area may be located in the interior side yard and

shall not be located closer to the street line than the main building on the lot.

14.1168.3 Other Provisions

1. The following provisions shall apply to the lands identified as “Subject Lands”, as shown on Figure “E-1738”:
 - a. A balcony, covered or uncovered, may encroach into any required yard 1.8 m, and shall not exceed 3 m beyond the main wall, and the minimum required setback may be 0 m to the front lot line.
 - b. The maximum height of a retaining wall shall not exceed 1.6 m.
 - c. The minimum setback of a retaining wall shall be 0 m from the front lot line and the west interior side lot line.
 - d. The minimum setback of a retaining wall shall be 1.5 m from the rear lot line and the east interior side lot line.
 - e. The minimum amenity area shall be 750 m².
 - f. A minimum of 80% of the amenity area shall be provided as a common space.
 - g. An outdoor amenity area with a contiguous area of a minimum area of 30 m² located at-grade shall be provided.
 - h. The minimum required landscape strip may be 0 m in width abutting the street line (Islington Avenue).
 - i. The minimum required landscape strip shall be between 1.2 m and 2.4 m abutting the west interior side lot line.
 - j. The minimum required landscape area shall be 1.5 m abutting the rear lot line.
 - k. The waste storage for the commercial use shall be located within a waste storage enclosure exterior to the main building.

14.1168.4 Figures

Figure E-1738

- b) Adding a new Figure “E-1738” in Subsection 14.1168 attached hereto as Schedule “1”.

c) Deleting Map 177 in Schedule A and substituting therefor Map 177 attached hereto as Schedule “2”.

2. Schedules “1” and “2” shall be and hereby form part of this By-law.

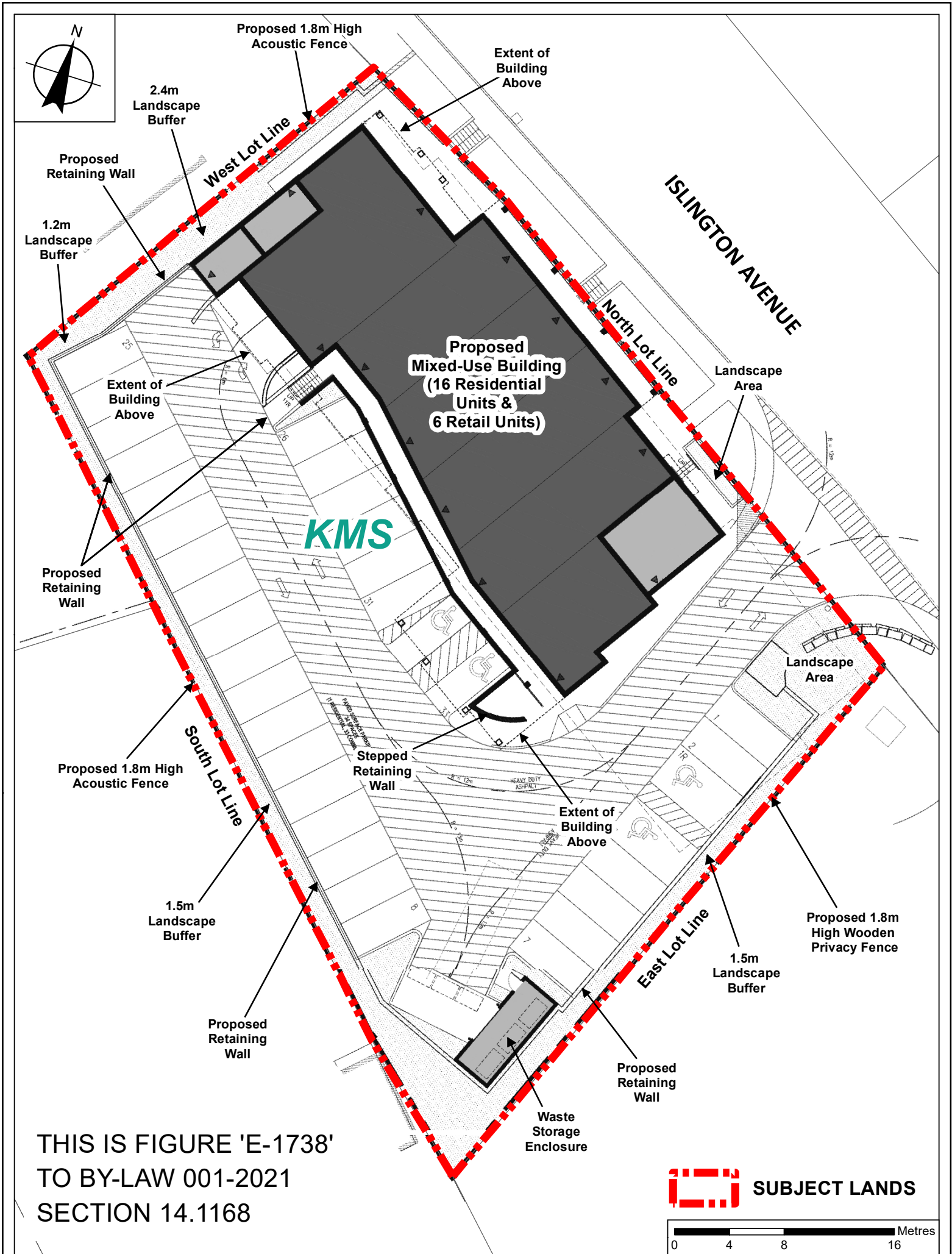
Voted in favour by City of Vaughan Council this 22nd day of May, 2024.

Steven Del Duca, Mayor

Todd Coles, City Clerk

Authorized by Item No. 4 of Report No. 1 of the Committee of the Whole.
Report adopted by Vaughan City Council on January 26, 2021.
City Council voted in favour of this By-law on May 22, 2024.
Approved by Mayoral Decision MDC 007-2023 dated May 22, 2024.
Effective Date of By-Law: May 22, 2024

Schedule "1"



THIS IS FIGURE 'E-1738'
 TO BY-LAW 001-2021
 SECTION 14.1168

**THIS IS SCHEDULE '1'
 TO BY-LAW 091-2024
 PASSED THE 22ND DAY OF MAY, 2024**

FILE: Z.17.018
RELATED FILES: OP.18.021 and DA.17.042
LOCATION: Part of Lot 24, Concession 8;
 10568 Islington Avenue
APPLICANT: Portside Developments (Kleinburg) Inc.
CITY OF VAUGHAN

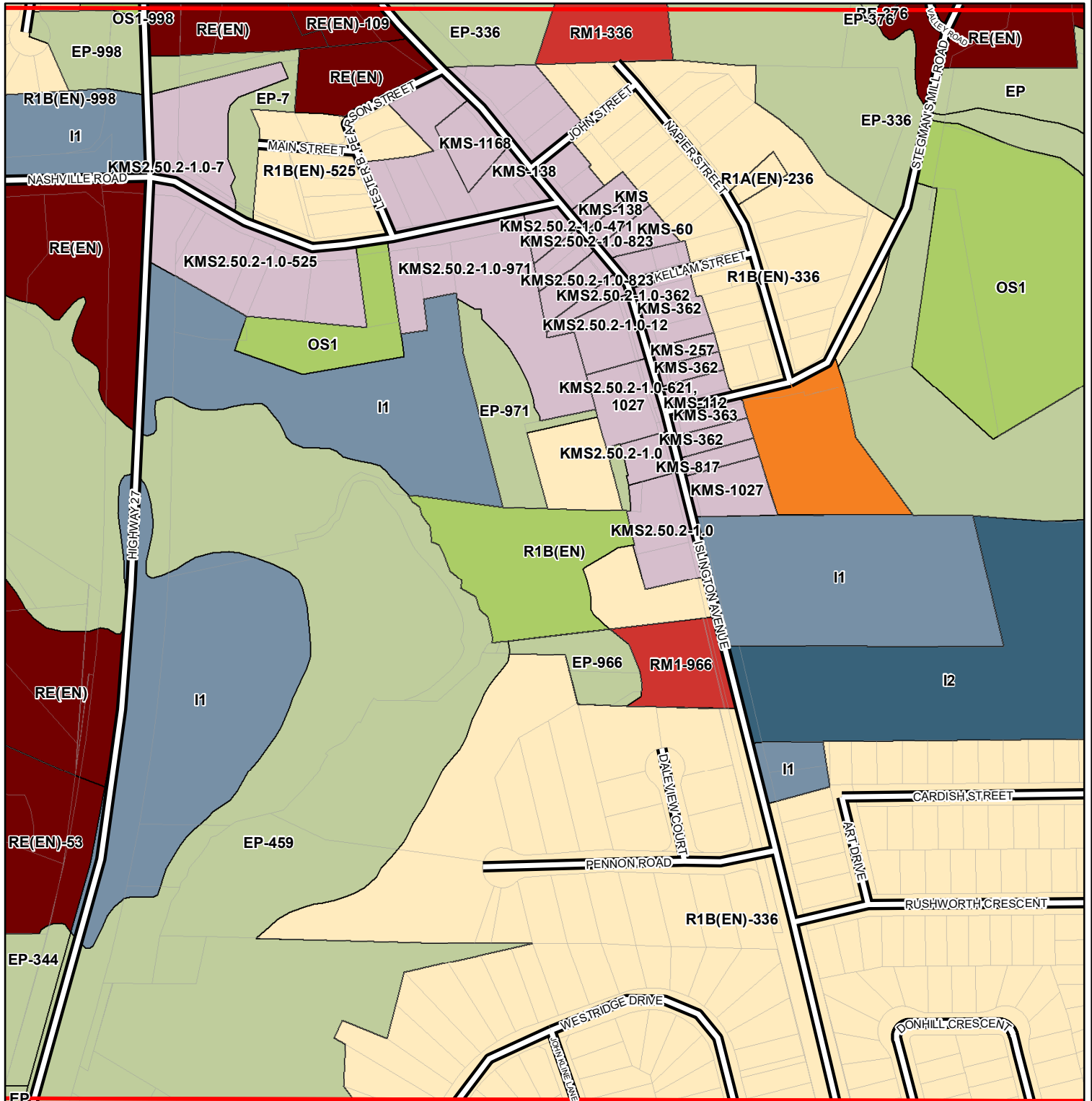
SIGNING OFFICERS

 MAYOR

 CLERK

Zoning By-law 001 - 2021

Schedule A | Map 177



Conservation, OpenSpace and Agricultural Zones

- A (Agriculture Zone)
- OS1 (Open Space Zone)
- OS2 (Open Space Zones)
- EP (Environmental Protection Zone)

Vaughan Metropolitan Centre Zones

- V1 (VMC Station Zone)
- V2 (VMC South Zone)
- V3 (VMC Neighbourhood Zone)
- V4 (VMC Employment Zone)

Residential Zones

- R1 (First Density Residential Zone)
- R2 (Second Density Residential Zone)
- R3 (Third Density Residential Zone)
- R4 (Fourth Density Residential Zone)
- R5 (Fifth Density Residential Zone)
- RT (Townhouse Residential)
- RT1 (Townhouse Residential Zone)
- RT2 (Townhouse Residential Zone)
- RM1 (Multiple Unit Residential Zone)

Commercial Zones

- GC (General Commercial Zone)
- NC (Neighbourhood Commercial Zone)
- CC (Convenience Commercial Zone)
- SC (Service Commercial Zone)

Mixed-Use Zones

- LMU (Low-Rise Mixed-Use Zone)
- MMU (Mid-Rise Mixed-Use Zone)

Employment Zones

- EM1 (Prestige Employment Zone)
- EM2 (General Employment Zone)

Other Zones

- I1 (General Institutional Zone)
- I2 (Major Institutional Zone)
- U (Utility Zone)
- FD (Future Development Zone)
- PB1 (Parkway Belt Public Use Zone)
- PB2 (Parkway Belt Complementary Use Zone)
- PB3 (Parkway Belt West Recreational Zone)
- EM3 (Mineral Aggregate Operation Zone)

1:5,000

215	216	217	218	219
195	196	197	198	199
175	176	177	178	179
156	157	158	159	160
137	138	139	140	141

Final: March, 2024

**THIS IS SCHEDULE '2'
TO BY-LAW 091-2024
PASSED THE 22ND DAY OF MAY, 2024**

FILE: Z.17.018

RELATED FILES: OP.18.021 and DA.17.042

LOCATION: Part of Lot 24, Concession 8,
10568 Islington Avenue

APPLICANT: Portside Developments (Kleinburg) Inc.

CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

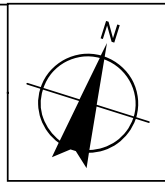
CLERK

SUMMARY TO BY-LAW 091-2024

The Subject Lands are located on the south side of Islington Avenue and west of Nashville Road, are municipally known as 10568 Islington Avenue, are legally described as Lot 24, Plan 268 Vaughan; Lot 18, Plan 210 Vaughan; and Part 1, Reference Plan 65R-16052, and are located within Part of Lot 24, Concession 8, in the City of Vaughan.

The purpose of this By-law is to amend City of Vaughan Zoning By-law 001-2021 to permit a three-storey mixed-use residential-commercial development for 16 residential apartment units and 558.44 m² of commercial area in the KMS Main Street Mixed-Use – Kleinburg Zone.

The By-law also provides site-specific exceptions to the minimum front, rear and interior side yards, maximum building height, gross floor area and floor space index, permitted accessory buildings and structures and restrictions, minimum setbacks for buildings below grade, minimum parking rate for the commercial uses, long-term bicycle parking and short-term bicycle parking requirements, loading space requirements, parking area requirements, permitted encroachments into required yards and minimum amenity area and landscape strip requirements.

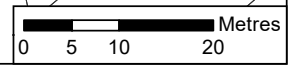
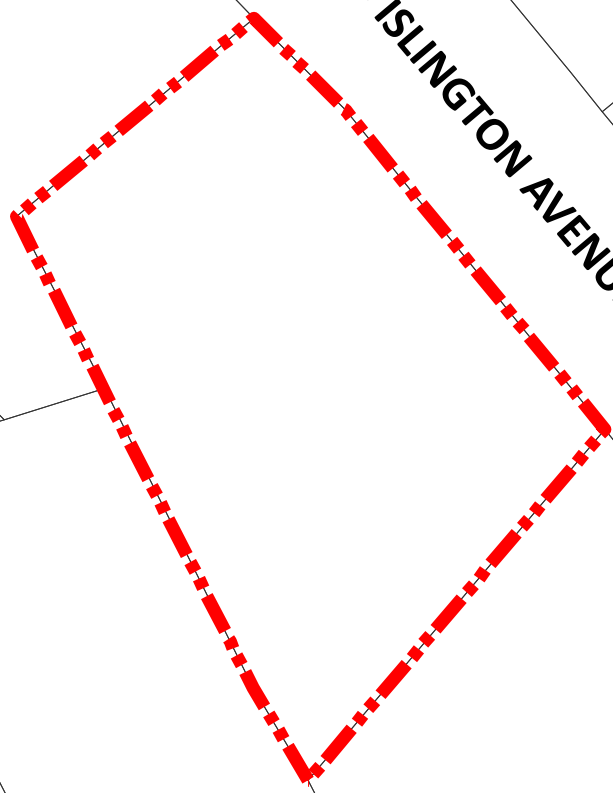


LESTER B. PEARSON STREET

ISLINGTON AVENUE

JOHN STREET

NASHVILLE ROAD



LOCATION MAP TO BY-LAW 091-2024

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LOCATION: Part of Lot 24, Concession 8;
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