

VAUGHAN

C18.1

## memorandum

TO: MEMBERS OF COUNCIL

FROM: JEFFREY A. ABRAMS, CITY CLERK

DATE: FEBRUARY 25, 2014

SUBJECT: Committee of the Whole (Public Hearing) Item No. 1  
Official Plan Amendment File OP.13.015  
Zoning By-law Amendment File Z.13.043 and  
Draft Pan of Subdivision File 19T-13V010  
Nine-Ten West Limited  
WARD 4 – Vicinity of Dufferin Street and Rutherford Road

c	18
COMMUNICATION	
CW (PH) -	FEB 25/14
ITEM -	1

The City Clerk's Office has received a number of submissions on this application generated by a form letter and an online petition. The purpose of this communication is to present those submissions which have been received by the City Clerk's Office up to the 5:00 p.m. communication deadline for Committee of the Whole (Public Hearing), being two hours prior to the commencement of the meeting at 7:00 p.m. on February 25, 2014. It is hoped that organizing the submissions in this manner will assist the Committee in its deliberations.

The text of the form letter is as follows:

*"Dear City of Vaughn Representatives*

*I received a Notice of Public Meeting for Committee of The Whole (Public Hearing) for the 25 of February 2014 at 7 pm.*

*I oppose and object to the suggested amendments to amend the City's Official Plan Application (OP.13.015), Zoning By Law Amendment Application (z.13.043) and the Draft Plan Subdivision Application (19T-13V010).*

*I oppose and object for the following reasons:*

*1- The development will result in increased traffic, on-street parking and congestion noise and air pollution. Already Dufferin gets extremely busy between 7:30 am and 6:30 pm*

*2- This will result in adding approximately 3000 to 5000 cars and 2500 new families added to the community and using the main Dufferin Rutherford intersection, surrounding streets and amenities.*

*3-The increase in the number of residents and traffic will hinder community safety.*

*4-The existing and proposed loading will bring larger trucks to the area and surrounding streets, and the community will suffer from 24 hours deliveries for the commercial business that will be added by this development.*

*5-The proposed building height will result in a loss of privacy for the abutting residents and will case shadows on the existing residential development resulting in reduced exposure to sunlight.*

*6-the development will negatively impact the quality of life of the surrounding residents and community*

*7-There are insufficient amenities in the area to cope with the increased number of families*

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8-The proposed residential apartment is not appropriate or compatible with the surrounding community that is developed with low density residential uses, and the existing commercial development.

9-the proposal represents an over development and overload on the infrastructure of the site and the surrounding community

10-the surrounding property values will decrease as a result of the development.

11- New development proposes 7 highrise buildings as high as 20 to 25 stories and other commercial business and services which extreme capacity compared to the current area density. This will create a lot of traffic in the neighborhood all day through with trucks delivering merchandise to the stores 24 hours per day.

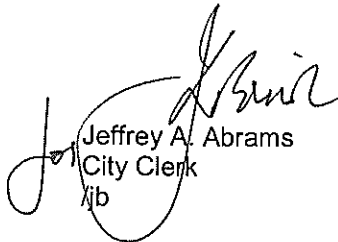
12- The suggested playground area is out of proportion and extremely small when compared to the exaggerated high-rise buildings and commercial businesses proposed; indicating that the development is geared more towards profiting than servicing the community.

Please consider our residents opinion when planning the land usage to make our community safe, comfortable, and suitable for residence.

Regards,

Appendix 1 contains the names of persons identified as having 'signed' the form letter.

Respectfully submitted,

  
Jeffrey A. Abrams  
City Clerk  
/jb

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Appendix 1

Sr. No.	Name	Address
1	Karlo Babakhanian	Not provided
2	Luigi Boccanfuso	Redmond Drive, Thornhill
3	Nataliya Makhalik	Santa Amato Crescent, Thornhill